

Public Document Pack



COMMITTEE:	DEVELOPMENT CONTROL COMMITTEE B
DATE:	WEDNESDAY, 25 NOVEMBER 2020 9.30 AM
VENUE:	VIRTUAL TEAMS VIDEO MEETING

Councillors	
<u>Conservative and Independent Group</u> James Caston Peter Gould Kathie Guthrie (Chair) Barry Humphreys (Vice-Chair)	<u>Green and Liberal Democrat Group</u> Andrew Mellen Mike Norris Andrew Stringer Rowland Warboys

This meeting will be broadcast live to Youtube and will be capable of repeated viewing. The entirety of the meeting will be filmed except for confidential or exempt items. If you attend the meeting and make a representation you will be deemed to have consented to being filmed and that the images and sound recordings could be used for webcasting/training purposes.

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AGENDA

PART 1

MATTERS TO BE CONSIDERED WITH THE PRESS AND PUBLIC PRESENT

Page(s)

- 1 **APOLOGIES FOR ABSENCE/SUBSTITUTIONS**
- 2 **TO RECEIVE ANY DECLARATIONS OF PECUNIARY OR NON-PECUNIARY INTEREST BY MEMBERS**
- 3 **DECLARATIONS OF LOBBYING**
- 4 **DECLARATIONS OF PERSONAL SITE VISITS**
- 5 **SA/20/5 CONFIRMATION OF THE MINUTES OF THE MEETING HELD ON 28 OCTOBER 2020** 7 - 14
- 6 **TO RECEIVE NOTIFICATION OF PETITIONS IN ACCORDANCE WITH THE COUNCIL'S PETITION SCHEME**

- Supporters
- The applicant or professional agent / representative

Public speakers in each capacity will normally be allowed 3 minutes to speak.

2. Ward Members attending meetings of Development Control Committees and Planning Referrals Committee may take the opportunity to exercise their speaking rights but are not entitled to vote on any matter which relates to his/her ward.

Date and Time of next meeting

Please note that the next meeting is scheduled for Wednesday, 6 January 2021 at 9.30 am.

Webcasting/ Live Streaming

The Webcast of the meeting will be available to view on the Councils Youtube page: https://www.youtube.com/channel/UCSWf_0D13zmegAf5Qv_aZSg

For more information about this meeting, including access arrangements and facilities for people with disabilities, please contact the Committee Officer, Robert Carmichael - committees@baberghmidsuffolk.gov.uk - 01449 724930

Introduction to Public Meetings

Babergh/Mid Suffolk District Councils are committed to Open Government. The proceedings of this meeting are open to the public, apart from any confidential or exempt items which may have to be considered in the absence of the press and public.

Domestic Arrangements:

- Toilets are situated opposite the meeting room.
- Cold water is also available outside opposite the room.
- Please switch off all mobile phones or turn them to silent.

Evacuating the building in an emergency: Information for Visitors:

If you hear the alarm:

1. Leave the building immediately via a Fire Exit and make your way to the Assembly Point (Ipswich Town Football Ground).
2. Follow the signs directing you to the Fire Exits at each end of the floor.
3. Do not enter the Atrium (Ground Floor area and walkways). If you are in the Atrium at the time of the Alarm, follow the signs to the nearest Fire Exit.
4. Use the stairs, not the lifts.
5. Do not re-enter the building until told it is safe to do so.

Mid Suffolk District Council

Vision

“We will work to ensure that the economy, environment and communities of Mid Suffolk continue to thrive and achieve their full potential.”

Strategic Priorities 2016 – 2020

1. Economy and Environment

Lead and shape the local economy by promoting and helping to deliver sustainable economic growth which is balanced with respect for wildlife, heritage and the natural and built environment

2. Housing

Ensure that there are enough good quality, environmentally efficient and cost effective homes with the appropriate tenures and in the right locations

3. Strong and Healthy Communities

Encourage and support individuals and communities to be self-sufficient, strong, healthy and safe

Strategic Outcomes

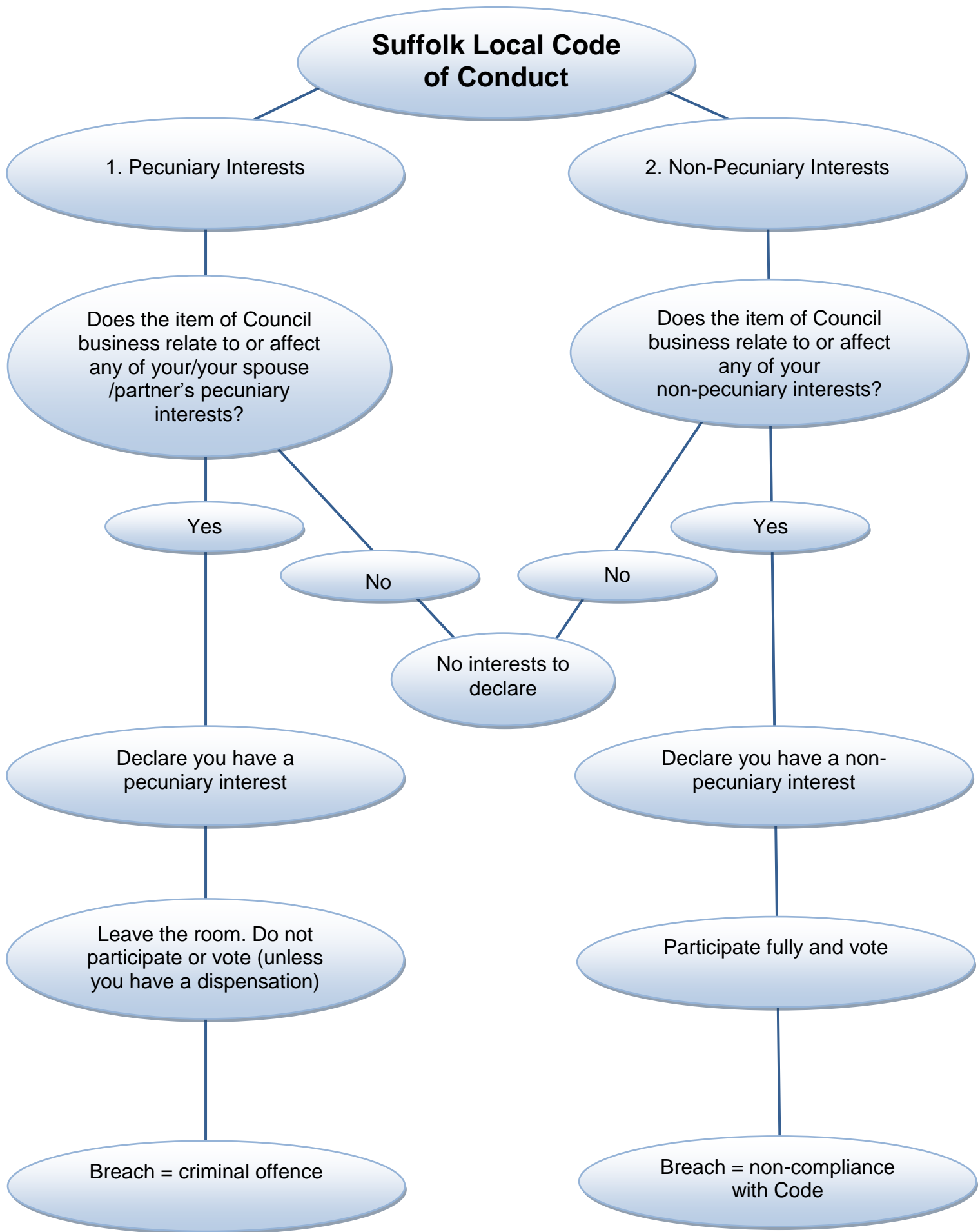
Housing Delivery – More of the right type of homes, of the right tenure in the right place

Business growth and increased productivity – Encourage development of employment sites and other business growth, of the right type, in the right place and encourage investment in infrastructure, skills and innovation in order to increase productivity

Community capacity building and engagement – All communities are thriving, growing, healthy, active and self-sufficient

An enabled and efficient organisation – The right people, doing the right things, in the right way, at the right time, for the right reasons

Assets and investment – Improved achievement of strategic priorities and greater income generation through use of new and existing assets ('Profit for Purpose')



Agenda Item 5

MID SUFFOLK DISTRICT COUNCIL

Minutes of the meeting of the **DEVELOPMENT CONTROL COMMITTEE B** held in the Virtual Teams Video Meeting on Wednesday, 28 October 2020 – 09:30

PRESENT:

Councillor: Kathie Guthrie (Chair)
Barry Humphreys MBE (Vice-Chair)

Councillors: James Caston Peter Gould
Andrew Mellen Mike Norris
Andrew Stringer Rowland Warboys

Ward Member(s):

Councillors: Cllr Sarah Mansel
Cllr Helen Geake
Cllr John Field

In attendance:

Officers: Chief Planning Officer (PI)
Area Planning Manager (GW)
Planning Lawyer (IDP)
Senior Planning Officer (DC)
Development Management Planning Officer (AS)
Governance Officer (RC)

10 APOLOGIES FOR ABSENCE/SUBSTITUTIONS

There were no apologies for absence.

11 TO RECEIVE ANY DECLARATIONS OF PECUNIARY OR NON-PECUNIARY INTEREST BY MEMBERS

There were no declarations of interest declared.

12 DECLARATIONS OF LOBBYING

None received.

13 DECLARATIONS OF PERSONAL SITE VISITS

None declared.

14 SA/20/3 CONFIRMATION OF THE MINUTES OF THE MEETING HELD ON 30

SEPTEMBER 2020

It was Resolved that the Minutes of the meeting held on 30 September 2020 were confirmed as a true record subject to the amendment below:

That the following line was added to Minute 3. "Councillor Andrew Mellen declared a personal site visit in respect of the application DC/19/01876".

The Minutes are to be signed at the next practicable opportunity.

15 TO RECEIVE NOTIFICATION OF PETITIONS IN ACCORDANCE WITH THE COUNCIL'S PETITION SCHEME

None received.

16 SA/20/4 SCHEDULE OF PLANNING APPLICATIONS

In accordance with the Council's procedure for public speaking on planning applications, representation were made as detailed below:

Application Number	Representations From
DC/20/01677	Councillor Sarah Mansel (Ward Member) Councillor Helen Geake (Ward Member)
DC/20/01175	Nick Davey (Applicant) Councillor John Field (Ward Member)
DC/20/03026	Andrew Owen (Applicant) Councillor Sarah Mansel (Ward Member) Councillor Helen Geake (Ward Member)

17 DC/20/01677 LAND TO THE WEST OF THE FORMER BACON FACTORY, ELMSWELL

17.1 Item A

Application Proposal	DC/20/01677 Outline Planning Application (access to be considered, all other matters reserved) – Site remediation works (Phase 1) and the erection of up to 65 dwellings with the safeguarding of land for the potential future delivery of a relief road, public open space and associated landscaping (Phase 2)
Site Location	ELMSWELL – Land to the West of the Former Bacon Factory, Elmswell
Applicant	Harrow Estates Plc

17.2 The Chief Planning Officer advised Members that Officers had obtained advise from Counsel regarding the application.

17.3 The Case Officer presented the application to the Committee outlining the proposal before Members, the layout of the site, the previous resolution from

05 August 2020, and the officer recommendation of approval.

- 17.4 The Case Officer and the Chief Planning Officer responded to Members' questions on issues including: the Council's Planning Policies and the public transport links.
- 17.5 Members considered the representation from Ward Members Councillor Sarah Mansel and Councillor Helen Geake, who spoke against the application.
- 17.6 Members debated the application on the issues including: the provision and location of Primary Schools, planning policies, and sustainability of the site.
- 17.7 The Planning Lawyer provided confirmation that the details of the applicants' Counsel advice was publicly available.
- 17.8 Members continued to debate the application on issues including the primary schools in the area and access to the site.
- 17.9 Councillor Barry Humphreys MBE proposed that the application be approved as detailed in the officer recommendation. Councillor James Caston seconded the motion.
- 17.10 Members continued to debate the application on issues including: accessibility, and the proposed cycle link.
- 17.11 The Case Officer provided clarification to Members regarding the provision of the cycle link.
- 17.12 By 5 votes to 3.
- 17.13 **RESOLVED**

That authority be delegated to the Chief Planning Officer to GRANT outline planning permission subject to:

(1) Subject to the prior agreement of a Section 106 Planning Obligation on appropriate terms to the satisfaction of the Chief Planning Officer to secure:

- **Affordable Housing at a policy compliant level. This equates to 22 units being delivered on site with mix to be agreed at reserved matters stage;**
- **Contributions towards Suffolk County Council for the provision of pre-school and primary education;**
- **Contribution for the provision of a footway/cycleway linking Elmswell and Woolpit;**
- **Potentially secure contributions upgrading of bus stops, if not secured within a Section 278 Agreement and required travel planning; and**

- To secure the ongoing management and maintenance of open space and play areas.

(2) That the Chief Planning Officer be authorised to GRANT Planning Permission upon completion of the legal agreement subject to conditions as summarised below and those as may be deemed necessary by the Chief Planning Officer:

- Time limit for submission of reserved matters and for commencement;
- Reserved matters application to provide details of appearance, layout, scale and landscaping;
- Approved plans;
- Requirement for reserved matters to come forward in general conformity with the submitted plans;
- Construction method statement to secure detail of site operation;
- Reserved matters application to demonstrate sufficient noise insulation/mitigation for residential dwellings and amenity space;
- Land contamination remediation strategy as required by Environment Agency;
- Provision of fire hydrants;
- Sustainability and energy efficiency details;
- Landscape and ecology management plan;
- Biodiversity enhancement strategy;
- Biodiversity method statement;
- Wildlife sensitive lighting scheme;
- Details of estate roads and footpaths, including levels, layout, gradient, surfacing and means of discharging surface water;
- Provision of roads and footpaths prior to occupation of a given dwelling;
- Travel plan;
- HGV routing during construction;
- Details of surface water drainage scheme; and
- Details of foul water drainage scheme.

(3) And the following informative notes as summarised and those as may be deemed necessary:

- Pro-active working statement;
- Highways note; and
- Land contamination note.

(4) That in the event of the Planning obligations or requirements referred to in Resolution (1) above not being secured and/or not secured within 6 months that the Chief Planning Officer be authorised to refuse the application on appropriate grounds.

ORL

- 18.1 Item B
Application DC/20/01175
Proposal Application for Outline Planning Permission. (Access to be considered) extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping
Site Location **GREAT BLAKENHAM** - Land Adj Port One Business and Logistics Park, Blackacre Hill, Bramford Road, Great Blakenham, Suffolk
Applicant Curzon De Vere Ltd
- 18.2 The Case Officer presented the application to the committee outlining the layout and location of the site, access to the site, economic development opportunities and the officer recommendation of approval with conditions.
- 18.3 The Case Officer provided clarification regarding the conditions in respect of bat boxes and archaeology.
- 18.4 The Case Officer responded to Members' questions on issues including: landscaping on site, storage of containers on site, accessibility to the site, sustainability issues, and the height of buildings on site.
- 18.5 Members considered the representation from Nick Davey who spoke as the applicant.
- 18.6 The applicant responded to Members' questions on issues including: the archaeological significance of the surrounding area, and the sustainability measures being implemented on site.
- 18.7 Members considered the representation from the Ward Member, Councillor John Field.
- 18.8 Members debated the application on issues including: the ecology and sustainability implications of the site, the proposed highways applications in the area and current highways issues, potential flooding, the indicative height of the proposed buildings, and economic development issues.
- 18.9 Councillor Andrew Stringer proposed that the application be deferred for the following reasons:
- To review the proposed biodiversity mitigation and tree protection and to review the proposed layout and any potential amendments which would enhance that.
 - That the application be reported back to Development Control B Committee together with the Section 73 application which seeks to vary access and

other highway arrangements associated with the related 2017 planning permission at this site.

The motion was seconded by Councillor Barry Humphreys MBE.

18.10 By a unanimous vote.

18.11 **RESOLVED**

That the Application is deferred for the following reasons:

- **To review the proposed biodiversity mitigation and tree protection and to review the proposed layout and any potential amendments which would enhance that.**
- **That the application be reported back to Development Control B Committee together with the Section 73 application which seeks to vary access and other highway arrangements associated with the related 2017 planning permission at this site.**

19 DC/20/03026 CREST NICHOLSON SITE, LAND ADJACENT WETHERDEN ROAD, ELMSWELL

As short comfort break was taken between 11:31-11:41 after the completion of DC/20/01175 but before the commencement of DC/20/03026.

19.1 Item C

Application Proposal	DC/20/03026 Application under Section 73 of The Town and Country Planning Act for Outline Planning Permission 4911/16 and Reserved Matters DC/18/01679 to vary condition of Approval of Reserved Matters (Approved Plans and Documents)
Site Location	ELMSWELL – Crest Nicholson Site, Land Adjacent Wetherden Road, Elmswell
Applicant	Crest Nicholson Eastern

19.2 The Case Officer presented the application to the Committee outlining the location of the site, the reason for referral to Committee, the proposes changes in scale and appearance from the previous approval, and the officer recommendation of approval.

19.3 The Case Officer responded to Members' questions on issues including: any proposed amendments to the width of the pavements on site, and the number of dwellings on site.

19.4 Members considered the representation from Andrew Owen who spoke as the applicant.

- 19.5 The applicant responded to Members' questions on issues including: the size of the rooms within the properties, the cost of the proposed new designs compared to the previous properties.
- 19.6 Members considered the representation from the Ward Members, Councillor Sarah Mansel and Councillor Helen Geake.
- 19.7 Members debated the application on issues including: the designs of the new houses on site, the benefits of more affordable housing, and the sizes of the properties.
- 19.8 Councillor James Caston proposed the officer recommendation of approval. The motion was seconded by Councillor Barry Humphreys MBE.
- 19.9 Members continued to debate the application on issues including: the size of the properties including Nationally Described Space Standard.
- 19.10 By 6 votes to 2.

19.11 **RESOLVED:**

That authority be delegated to the Chief Planning Officer to grant reserved matters permission:

- (1) That the Chief Planning Officer be authorised to Grant reserved matters permission subject to conditions as summarised below and those as may be deemed necessary by the Chief Planning Officer:**

- **Approved Plans and Documents.**
- **Parking Layout to be fully implemented as proposed and thereafter retained**
- **Removal of Permitted Development Rights for extensions, curtilage buildings, gates, walls and fences**

Summary of conditions imposed on Outline Permission (4911/16) (reference only):

- 1. Standard Time Limit;**
- 2. Approval of Reserved Matters;**
- 3. Approved phasing of development;**
- 4. Approved plans & documents;**
- 5. The development shall comprise no more than 240 dwellings;**
- 6. Dwellings to be two storey design only, with no living accommodation within the roof space;**
- 7. Agreement of materials;**
- 8. Ground floor levels details;**
- 9. Hard landscaping scheme;**
- 10. Soft landscaping scheme and management plan;**
- 11. Timescale for landscaping;**
- 12. Surface water drainage details;**
- 13. Surface water drainage details;**

14. Sustainable urban drainage scheme;
15. Construction surface water management plan;
16. Foul water strategy;
17. Archaeological works;
18. Archaeological works monitoring;
19. Energy statement;
20. Fire hydrants number and location;
21. Arboricultural method statement;
22. Ecological enhancement and management strategy;
23. Recommendations as set out in ecological reports;
24. Details of Illumination;
25. Traffic regulation order - extension of existing 30 mph speed limit and pedestrian crossing with traffic island dropped kerb and tactile paving;
26. Provision of roads and footpaths;
27. Parking, manoeuvring, cycle storage and electric vehicle charging details;
28. Surface water discharge details (highways);
29. Estate road junction details;
30. Land Contamination investigation and remediation;
31. Refuse and recycling storage;
32. Highway visibility splays;
33. Construction management plan;
34. Highway Improvements;
35. Carriageways and footways to binder level prior to occupation; 36. Pedestrian crossing – completion prior to first access.

20 SITE INSPECTION

The business of the meeting was concluded at 12.27 pm.

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Chair

Agenda Item 7

MID SUFFOLK DISTRICT COUNCIL

DEVELOPMENT CONTROL COMMITTEE B

25 November 2020

INDEX TO SCHEDULED ITEMS

<u>ITEM</u>	<u>REF. NO</u>	<u>SITE LOCATION</u>	<u>MEMBER/WARD</u>	<u>PRESENTING OFFICER</u>	<u>PAGE NO</u>
7A	DC/20/03891	Land at Blackacre Hill, Bramford Road, Great Blakenham, Suffolk	Cllr John Field/ Blakenham	Katherine Hale	19-76
7B	DC/20/1175	Land Adj Port One Business and Logistics Park, Blackacre Hill, Bramford Road, Great Blakenham, Suffolk, IP6 0RL	Cllr John Field/ Blakenham	Katherine Hale	77-262
7C	DC/19/05956	Land off Post Mill Lane, Fressingfield	Cllr Lavinia Hadingham/ Fressingfield	Vincent Pearce	263-430
7D	DC/20/01697	Barley Brigg Farm, Laxfield Road, Stradbroke, Eye, Suffolk, IP21 5NQ	Cllr Julie Flatman/ Stradbroke and Laxfield	Daniel Cameron	431-498

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Important information that forms consideration for all applications being considered by this committee.

To avoid duplicate information being repeated in each report this information is centralised here.

Plans and Documents

The application, plans and documents submitted by the Applicant for all applications presented to committee can be viewed online at www.midsuffolk.gov.uk or www.babergh.gov.uk leading to the joint web site for the Councils.

Policies and Planning Consideration

All applications have been assessed with regard to adopted development plan policies, the National Planning Policy Framework and all other material considerations. Detailed assessment of policies in relation to the recommendation and issues highlighted in each case will be carried out within the assessments attached. From an assessment of relevant planning policy and guidance, representations received, the planning designations and other material issues the main planning considerations considered relevant to each case are set out. Where a decision is taken under a specific express authorisation, the names of any Member of the Council or local government body who has declared a conflict of interest are recorded in the minutes for the meeting.

Note on National Planning Policy Framework 2019 (NPPF)

The National Planning Policy Framework (NPPF) contains the Government's planning policies for England and sets out how these are expected to be applied. Planning law continues to require that applications for planning permission are determined in accordance with the Development Plan unless material considerations indicate otherwise. The policies contained within the NPPF are a material consideration and should be taken into account for decision-making purposes.

The National Planning Policy Framework (NPPF) *"The presumption in favour of sustainable development does not change the statutory status of the development plan as the starting point for decision making. Where a planning application conflicts with an up-to-date development plan (including any neighbourhood plans that form part of the development plan), permission should not usually be granted. Local planning authorities may take decisions that depart from an up-to-date development plan, but only if material considerations in a particular case indicate that the plan should not be followed."*

The NPPF also provides (para 38) that *"Local planning authorities should approach decisions on proposed development in a positive and creative way. They should use the full range of planning tools available, including brownfield registers and permission in principle, and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible."*

Note on Community Infrastructure Levy Regulations (CIL)

The Community Infrastructure Levy (CIL) is a fixed rate payment that councils can charge on new buildings in their area to off-set the impacts of additional homes and businesses on facilities such as roads, schools, open space and health centres (infrastructure) and to enable sustainable growth. Self Build and affordable housing are exempt from CIL. Section 106 legal agreements will be used alongside CIL to secure on-site infrastructure and obligations that are not infrastructure, such as affordable housing, when identified and recommended to fulfil the tests under the CIL Regulations.

Note on Obligations and Conditions

NPPF Paragraph 54 states *“Local planning authorities should consider whether otherwise unacceptable development could be made acceptable through the use of conditions or planning obligations. Planning obligations should only be used where it is not possible to address unacceptable impacts through a planning condition.”*

For each recommendation, in accordance with the Community Infrastructure Levy Regulations, 2010, the obligations recommended to be secured shall only be recommended for consideration when considered necessary to make the Development acceptable in planning terms, directly related to the Development and fairly and reasonably relate in scale and kind to the Development.

For each recommendation, in accordance with the NPPF Paragraph 55 the conditions recommended to be secured shall only be recommended when considered necessary, relevant to planning and to the development to be permitted, enforceable, precise and reasonable in all other respects. The NPPF also provides planning conditions should be kept to a minimum.

Details of Financial Benefits / Implications (S155 Housing and Planning Act 2016)

Under Section 155 of the Housing and Planning Act 2016 it states, *“A local planning authority in England must make arrangements to ensure that the required financial benefits information is included in each report which is made by an officer or agent of the authority for the purposes of a non-delegated determination of an application for planning permission”.*

Financial benefits for new housing, businesses or extensions are generally as follows and are not considered to be material to the applications being determined: -

- Council Tax
- New Home Bonus
- Business Rates

Any further material or non-material benefits in addition to those listed above shall be specifically reported to members, including any interests on land owned by the Council. Community Infrastructure Levy and Section 106 obligations that may include financial benefit or adoption of land to the Council may also be sought and are considered to be material.

Statement Required By Article 35 Of The Town And Country Planning (Development Management Procedure) Order 2015.

When determining planning applications, The Town and Country Planning (Development Management Procedure) (England) Order 2015 requires Local Planning Authorities to explain whether, and if so how, in dealing with the application they have worked with the applicant to resolve any problems or issues arising. This shall be detailed within the officer report and/or shall be detailed on any decision issued as necessary.

Note on Photos/Video Footage and other media

All sites are visited by the planning officer as part of their assessment. Officers will take photographs/video of the site for the purpose of explaining features of the site and providing context for members consideration of the proposal. These images are taken at random times and during normal working hours in accordance with the Council's lone working requirements. Photographs/Video are helpful, but it is accepted that they have limitations that may include showing appropriate scale, understanding levels and are on a snapshot in time of the local circumstances.

Agenda Item 7a

Committee Report

Item 7A

Reference: DC/20/03891

Case Officer: Katherine Hale

Ward: Blakenham

Ward Member/s: Cllr John Field

RECOMMENDATION – GRANT PLANNING PERMISSION WITH CONDITIONS

Description of Development

Application under Section 73 of the Town and Country Planning Act relating to Planning Permission 2351/16 previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements)

Location

Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Expiry Date: 10/12/2020

Application Type: FUW - Full App Without Compliance of Condition

Development Type: Major Large Scale - Manu/Ind/Storg/Wareh

Applicant: Curzon De Vere Ltd

Agent: Miss A Lai

Parish: Great Blakenham

Site Area: variation of condition application

Density of Development:

Gross Density (Total Site): n/a

Net Density (Developed Site, excluding open space and SuDs): n/a

Details of Previous Committee / Resolutions and any member site visit: None

Has a Committee Call In request been received from a Council Member (Appendix 1): No

Has the application been subject to Pre-Application Advice: informal discussion associated with concurrent planning application also on this agenda

PART ONE – REASON FOR REFERENCE TO COMMITTEE

The application is referred to committee for the following reason/s:

It relates to a site that is the subject of a full Committee report on this agenda which is itself a matter that is returning to Committee after deferral for additional information. Members also asked to see the details of this S73 application at the same time.

PART TWO – POLICIES AND CONSULTATION SUMMARY

Summary of Policies

The Development Plan

The Adopted Development Plan for Mid Suffolk District Council comprises the Mid Suffolk Core Strategy Focused Review (2012), the Mid Suffolk Core Strategy (2008) and the Mid Suffolk Local Plan (1998), specifically the live list of 'saved policies' (2007).

The following are considered the most relevant to the determination of this proposal

Adopted Mid Suffolk Core Strategy (2008) (CS08)

- CS01 - Settlement Hierarchy
- CS02 - Development in the Countryside & Countryside Villages
- CS03 - Reduce Contributions to Climate Change
- CS04 - Adapting to Climate Change
- CS05 - Mid Suffolk's Environment

Adopted Mid Suffolk Core Strategy Focused Review (2012) (CSFR12)

- FC01 - Presumption In Favour Of Sustainable Development
- FC01_1 - Mid Suffolk Approach To Delivering Sustainable Development
- FC03 - Supply Of Employment Land

Adopted Mid Suffolk Local Plan (1998) (ADP98)

- GP01 - Design and layout of development
- SB02 - Development appropriate to its setting
- H17 - Keeping residential development away from pollution
- CL08 - Protecting wildlife habitats
- CL09 - Recognised wildlife areas
- CL11 - Retaining high quality agricultural land
- E03 - Warehousing, storage, distribution and haulage depots
- E04 - Protecting existing industrial/business areas for employment generating uses
- E06 - Retention of use within existing industrial/commercial areas
- E09 - Location of new businesses
- E10 - New Industrial and commercial development in the countryside
- E11 - New Industrial and commercial development in the countryside
- E12 - General principles for location, design and layout
- T09 - Parking Standards
- T10 - Highway Considerations in Development
- T11 - Facilities for pedestrians and cyclists
- T12 - Designing for people with disabilities

Status of Adopted Local Plan (1998) (ADP98)

A number of policies within the Plan have now been held to be 'out-of-date' as a result of recent planning appeal decisions on the basis of Inspectors declaring them to be inconsistent with the NPPF [2019]. On this basis the tilted balance required by paragraph 11 of the NPPF may need to be brought into play but this will need to be tempered against the Adopted Development Plan where and if relevant policies remain valid and continue to attract significant weight as material planning considerations dependent upon their

consistency with the NPPF. This cannot, however, supplant the statutory duty to take decisions in accordance with the development plan unless such considerations indicate otherwise.

Draft Joint Local Plan Preferred Options Document 2019(DLPPOD19)

This emerging local plan remains at an early stage and as a result attracts limited weight as a material planning consideration. It is the latest expression of the Council's current preferred direction of travel in terms of its future planning strategy and policies but could however be subject to change as the local plan process advances. It is however relevant to note the emphasis on the direction of growth to the A14 corridor and this report will amongst other things refer to emerging policy SP05.

The National Planning Policy Framework (NPPF)

The National Planning Policy Framework (NPPF) 2019 contains the Government's planning policies for England and sets out how these are expected to be applied. Planning law continues to require that applications for planning permission are determined in accordance with the development plan unless material considerations indicate otherwise. The policies contained within the NPPF are a material consideration and should be taken into account for decision-taking purposes.

Particularly relevant elements of the NPPF include:

- Section 2: Achieving Sustainable Development
- Section 4: Decision Making
- Section 6: Building a Strong, Competitive Economy
- Section 12: Achieving Well-Designed Places
- Section 15: Conserving and Enhancing the Natural Environment

The National Planning Practice Guidance (NPPG)

The National Planning Practice Guidance (NPPG) provides guidance and advice on procedure rather than explicit policy; however, it has been taken into account in reaching the recommendation made on this application.

Other Considerations

- Ipswich Policy Area
- Suffolk County Council- Suffolk's Guidance for Parking (2014 updated 2019)
- BMSDC Open for Business Strategy
- Grow on Space Supply and Demand Analysis (October 2019)

Neighbourhood Plan Status

This application site is not within a Neighbourhood Plan Area however the site is situated in close proximity to the neighbouring Parish of Sproughton. Sproughton is currently in the process of preparing their Neighbourhood Development Plan and whilst it does not cover Gt Blakenham the application site is adjacent to the defined Sproughton Neighbourhood Plan Area. Sproughton has within its boundary a Designated Enterprise Area and reference will be made to the relevance of this to the application at hand in this report.

Consultations and Representations

During the course of the application Consultation and Representations from third parties have been received. These are summarised below.

A: Summary of Consultations

Public Realm

Town/Parish Council (Appendix 3)

Great Blakenham Parish Council

“The applicant is requesting a two year delay in opening the access on to the B1113 and to be able to continue accessing the site through Addison Way. Great Blakenham Parish Council unanimously objects to this application as the junction between Addison Way and the B1113 is already overloaded with traffic, with consequent problems for vehicles turning in and out, particularly at peak times of the day. This section of the B1113 has numerous junctions with both residential and housing areas and permitting extra traffic to use the Addison Way junction would increase the frequency of accidents and near misses. Flooding at the bottom of Addison Way is a hazard and is increasing in both frequency and severity, although this has been reported to Highways on numerous occasions over recent years. Mud on the road is also a problem along this stretch of the B111. and would only be increased by allowing construction traffic to use Addison Way. This has also been reported to Highways on numerous occasions. The Council also notes that Addison Way does not have separate pedestrian or cyclist facilities through to the site which will discourage the use of more environmentally friendly forms of transport and put cyclists and pedestrians at more risk.”

Little Blakenham Parish Council

“Thank you for your email, The Council unanimously agreed that they had no objection to this application on a temporary basis, but agreed that it was important that a time limit was fixed in the approval conditions. The Council felt that the time limit should be no more than five years.”

Claydon and Whitton Parish Council

“The Parish Council have no objections to this application”

National Consultee (Appendix 4)

Highways England

“Thank you for your consultation on the above planning application.

We have reviewed the details and information provided. Due to the location and nature of the proposed development, there is unlikely to be any adverse effect upon the Strategic Road Network.

Consequently, we offer No Comment.”

County Council Responses (Appendix 5)

SCC Highways

“Notice is hereby given that the County Council as Highway Authority does not object to the proposal to vary Condition 20 subject to the other previously appended highway-related conditions being applied to the new permission (where they are still relevant); however, the proposal to vary Condition 26 has not been shown to be acceptable.

The proposed revised conditions are:

Condition 20

Within 24 months of occupation of the first unit, or, if earlier, before the occupation of the third unit, the access as approved under ref. 18/01897 must be laid out and be made available for use. Thereafter, the junction between Addison Way and the new internal estate road must be reconfigured in accordance with the details set out in the Transport Assessment received on 23rd May 2016, so that it cannot be used by large commercial vehicles to egress the site.

Condition 26

Within 24 months of occupation of the first unit or, if earlier, before the occupation of the third unit, off-road cycle improvements along Bramford Road, between the site access and it's junction with Addison Way, shall be completed in accordance with a scheme that has first been submitted to and approved by the local planning authority.

Comment:

The technical note concludes that the Addison Way junction should operate well within capacity in vehicular-terms in 2023. There being no material safety concerns with this junction either, it is agreed that the proposed variation to Condition 20 is acceptable. It should be noted, however, that the principle benefit promoted as justification for the proposal, being the avoidance of disruption to the public's enjoyment of the highway from multiple works, would only arise if permission is granted to planning application DC/20/01175 including an enlarged access that is then implemented without previously constructing the access previously approved.

To be clear there are two suggestions promoted in addition to that above that don't appear to be as beneficial. Reference is made to a 'shared lagoon' in the technical note, implying that construction of this could also cause disruption. There's no evidence presented showing why construction of such a feature should cause disruption to the use of Bramford Road. Moreover, although discussions between the Developer and County Council are ongoing on a proposal for such a feature, no agreement has been made to proceed with delivery of such a scheme at this time. Reference is also made to highway improvement works associated with the proposed 'SnOasis' development. These works are outside of the applicant's control. As such, it is very unlikely that overall disruption to the use of the highway can be reduced by arranging for all these, as well as the access works, to be carried out at the same time. It is also the County Council's usual policy to avoid multiple schemes on the same route at the same time, as this increases the risk of severe disruption.

The most concerning part of the application is the delay to the provision of improvements to the highway and access therefrom to the new buildings for pedestrians and cyclists. This is not addressed in the note. It can be confirmed that it does not now appear to be feasible to complete the construction of the shared route along the west side of Bramford Road that was required by the original permission. This would have connected to the length of shared route recently constructed to the north. In addition, for safety and maintenance reasons, the highway authority has decided it is not acceptable to introduce a single pedestrian refuge just to the north of Chapel Lane, as had been expected to be provided by the developer of the new housing on the east side of the road. Addison Way does not have separate pedestrian or cyclist facilities through to the site. As such, it is necessary to regularise the infrastructure improvements required to make the development acceptable and, it is recommended that some or all of these works are necessary sooner than the applicant's proposed condition."

SCC - Development Contributions Manager,

"I refer to the proposal: application under Section 73 of the Town and Country Planning Act relating to planning permission 2351/16 previously varied by 1755/17 for the variation of Conditions 20 (proposed access road details) and 26 (off-road cycle route improvements).

The original application under reference 2351/16 has an associated planning obligation dated 16 November 2016, which was varied by a Deed of Variation dated 12 April 2019. The planning obligation previously secured under the first and second planning permissions must remain in place if approval to the Section 73 application is granted by the local planning authority – to be secured by a new Deed of Variation. The county council will need to be a party to this Deed of Variation and will require an undertaking for its legal costs.

The proposed removal of Conditions 20 and 26 is a matter for the local Highway Authority to consider in the context of the National Planning Policy Framework, local plan policies, and relevant statutory and non-statutory guidance.”

Internal Consultee Responses (Appendix 6)

Environmental Health - Noise/Odour/Light/Smoke

“Thank you for consulting me on the above application for the variation of condition 20 (proposed access road details) and 26 (off road cycle route improvements).

I can confirm with respect to noise and other environmental health issues that I do not have any comments to make and no objection to the proposal.

I trust this is of assistance.”

Public Realm

“Public Realm do not wish to respond. This variation does not impact on any public open space.”

B: Representations

At the time of writing this report no letters/emails/online comments have been received. A verbal update shall be provided as necessary.

(Note: All individual representations are counted and considered. Repeated and/or additional communication from a single individual will be counted as one representation.)

PLANNING HISTORY

REF: DC/20/01175	Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping	DECISION: PCO
REF: DC/20/04873	Discharge of Conditions Application for 1755/17 - Condition 6h (Surface Water Drainage -Asset Register) and Condition 8 (External Lighting)	DECISION: PCO
REF: DC/17/03851	Discharge of conditions application for 2351/16 - Conditions 12,15,17 and 19 Dormouse (Muscardinus avellanarius) Survey Report, Construction Environmental	DECISION: GTD 15.08.2017

Management Plan, Reptile Mitigation Strategy, Badger (*Meles meles*) Survey Report, 1823 SK10-40A - Proposed Phasing Plan.

REF: DC/17/05234	Discharge of Conditions applications for 2351/16 - Condition 18 (Prior to commencement: Great Crested Newts)	DECISION: GTD 13.11.2017
REF: DC/18/00284	Discharge of Conditions Application for 2351/16 - Condition 9 (Archaeology).	DECISION: GTD 16.03.2018
REF: DC/18/01897	Discharge of Conditions for Application 2351/16 - Conditions 20 (Details of proposed access) and 26 (Provision of off-road cycle improvements)	DECISION: GTD 21.06.2018
REF: DC/19/01775	Discharge of Conditions Application for 1755/17 - Condition 32 (Hard and Soft Landscaping Masterplan).	DECISION: GTD 15.07.2019
REF: DC/19/01776	Discharge of Conditions Application for 1755/17 - Condition 5 (Levels), 6 (Surface Water Drainage Details), 7 (Construction Management) , 25 (Provision of Roads and Footpaths), 28 (Highways - Parking and Turning), 31 (Tree Protection) and 33 (Materials and Layout).	DECISION: PGR 10.09.2019
REF: DC/19/01793	Submission of details under Outline Planning Permission 2351/16 (Varied by Section 73 permission 1755/17) for Appearance, Landscaping, Layout and Scale of Phase 2 extending estate road approved under DC/18/01897 to eastern & central parts, provision of main services & balancing lagoon & Phase 4 for central warehouse unit plot.	DECISION: GTD 23.10.2019
REF: DC/19/01827	Submission of Details under Outline Planning Permission 2351/16 (Varied by Section 73 permission 1755/17) for Appearance, Landscaping, Layout and Scale of Phase 1 Access Works	DECISION: GTD 10.07.2019
REF: DC/19/04320	Discharge of Conditions Application for 1755/17- Condition 6 (Surface Water Drainage Details) (Part Discharge for Phases 2 and 4)	DECISION: GTD 30.10.2019
REF: DC/19/05259	Discharge of Conditions Application for 1755/17 - Conditions 11 (Agreement of	DECISION: GTD 31.01.2020

	Materials), Condition 29 (Highway Works), Condition 34 (Soft Landscaping) and Condition 35 (Hard Landscaping)	
REF: DC/19/05435	Discharge of Conditions Application for 1755/17 - Condition 13 (Sustainability) (Part discharge in relation to Phase 4 only)	DECISION: GTD 11.03.2020
REF: 1755/17	Application for variation of condition 20 following grant of planning permission 2351/16: "Application for outline planning permission (including access, all other matters reserved) for development of business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping" to enable revised details for proposed accesses	DECISION: GTD 29.10.2018
REF: 2351/16	Application for outline planning permission (including access, all other matters reserved) for development of business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping.	DECISION: GTD 17.11.2016
REF: 1482/88	CHANGE OF USE OF AGRICULTURAL LAND TO GOLF COURSE.	DECISION: GTD 17.04.1991
REF: 0691/05	Use of land for employment (B1 and B8), access road, layout and ancillary works -St James Business Park	DECISION: WDN 20.06.2005
REF: DC/17/03851	Discharge of conditions application for 2351/16 - Conditions 12,15,17 and 19 Dormouse (<i>Muscardinus avellanarius</i>) Survey Report, Construction Environmental Management Plan, Reptile Mitigation Strategy, Badger (<i>Meles meles</i>) Survey Report, 1823 SK10-40A - Proposed Phasing Plan.	DECISION: GTD 15.08.2017

REF: DC/18/00284	Discharge of Conditions Application for 2351/16 - Condition 9 (Archaeology).	DECISION: GTD 16.03.2018
REF: DC/19/01775	Discharge of Conditions Application for 1755/17 - Condition 32 (Hard and Soft Landscaping Masterplan).	DECISION: GTD 15.07.2019
REF: DC/19/04320	Discharge of Conditions Application for 1755/17- Condition 6 (Surface Water Drainage Details) (Part Discharge for Phases 2 and 4)	DECISION: GTD 30.10.2019
REF: DC/19/05259	Discharge of Conditions Application for 1755/17 - Conditions 11 (Agreement of Materials), Condition 29 (Highway Works), Condition 34 (Soft Landscaping) and Condition 35 (Hard Landscaping)	DECISION: GTD 31.01.2020
REF: DC/19/05435	Discharge of Conditions Application for 1755/17 - Condition 13 (Sustainability) (Part discharge in relation to Phase 4 only)	DECISION: GTD 11.03.2020
REF: 1297/11	Erection of 2 no aluminium warehouses	DECISION: GTD 27.07.2011
REF: DC/17/03851	Discharge of conditions application for 2351/16 - Conditions 12,15,17 and 19 Dormouse (<i>Muscardinus avellanarius</i>) Survey Report, Construction Environmental Management Plan, Reptile Mitigation Strategy, Badger (<i>Meles meles</i>) Survey Report, 1823 SK10-40A - Proposed Phasing Plan.	DECISION: GTD 15.08.2017
REF: DC/17/05234	Discharge of Conditions applications for 2351/16 - Condition 18 (Prior to commencement: Great Crested Newts)	DECISION: GTD 13.11.2017
REF: DC/18/00284	Discharge of Conditions Application for 2351/16 - Condition 9 (Archaeology).	DECISION: GTD 16.03.2018
REF: DC/19/01775	Discharge of Conditions Application for 1755/17 - Condition 32 (Hard and Soft Landscaping Masterplan).	DECISION: GTD 15.07.2019
REF: DC/19/04320	Discharge of Conditions Application for 1755/17- Condition 6 (Surface Water Drainage Details) (Part Discharge for Phases 2 and 4)	DECISION: GTD 30.10.2019
REF: DC/19/05259	Discharge of Conditions Application for 1755/17 - Conditions 11 (Agreement of	DECISION: GTD 31.01.2020

Materials), Condition 29 (Highway Works),
Condition 34 (Soft Landscaping) and
Condition 35 (Hard Landscaping)

REF: DC/19/05435	Discharge of Conditions Application for 1755/17 - Condition 13 (Sustainability) (Part discharge in relation to Phase 4 only)	DECISION: GTD 11.03.2020
REF: DC/20/04891	Other Districts Development - Variation of Condition 8 to planning permission MS/1185/15	DECISION: PCO
REF: DC/20/04892	Other Districts Development - Variation of Condition 7 to Planning Permission SCC/0057/18MS	DECISION: PCO
REF: 1297/11	Erection of 2 no aluminium warehouses	DECISION: GTD 27.07.2011
REF: 1376/06	Installation of antenna.	DECISION: GTD 18.08.2006
REF: DC/18/02066	Application under Section 73 of the Town and Country Planning Act - 'Retail unit built with 6 flats above' - Variation of Condition 11 planning permission 3310/14 (Restriction of Operation Times).	DECISION: GTD 17.08.2018
REF: DC/18/04846	Discharge of Conditions Application for DC/18/03269 - Condition 4 (Surface Water Discharge)	DECISION: GTD 21.12.2018
REF: DC/19/01400	Discharge of Conditions Application for 3310/14 - Condition 8 (Land Contamination)	DECISION: GTD 29.04.2019
REF: DC/20/01369	Discharge of Conditions Application for 3310/14 - Condition 8 (Land Contamination)	DECISION: GTD 02.06.2020
REF: 3837/16	Environmental Impact Assessment - Scoping Opinion request for multi-use tourism complex comprising of complementary and interrelated sport and leisure facilities and associated uses including holiday accommodation, ancillary restaurants and retail outlets, an entertainment dome and other sporting facilities including a golf course and water sports. (as granted Outline Planning Permission under reference OL/100/04 & 1969/10 - known as SnOasis)	DECISION: EIA 14.10.2016

REF: 3310/14	Erection of 270 dwellings comprising 110 x two-bedroom houses, 135 x 3 bedroom houses and 25 x 4 bedroom houses and associated garaging/car parking, landscaping, public open space, play areas and access to Bramford Road, together with the construction of a convenience store with 6 x two-bedroom flats above, associated parking and servicing areas on land at Hackneys Corner.	DECISION: GTD 17.06.2015
REF: 3066/13	Erection of 194 dwellings comprising 68 two-bedroom, 101 three-bedroom and 24 four-bedroom dwellings together with associated garaging, car parking, landscaping and access.	DECISION: FTD 27.02.2014
REF: 1194/11	Discharge of Section 106 Schedules for Great Blakenham Housing - case Created 01-04-11	DECISION: REC
REF: 1969/10	Application for extension of time for the implementation of the "SnOasis" a ski centre, holiday resort, centre of winter sports excellence, leisure and associated uses and related on and off site infrastructure (Originally permitted under outline planning permission OL/100/04).	DECISION: GTD 31.10.2011
REF: 0001/84/A	Information and direction signs (2 x 4ft signs on one mounting)	DECISION: GTD 19.03.1984
REF: 0195/08	MS/08: Use of land for storage of waste transfer skips in conjunction with nearby waste transfer and recovery site	DECISION: GTD 04.02.2008
REF: 0471/98/	CONVERSION OF BARN TO FORM 2 NO. DWELLINGS, USING EXISTING VEHICULAR ACCESS.	DECISION: GTD 22.07.1998
REF: 0100/04/OL	For planning permission to develop (Snoasis) a ski centre and holiday resort, centre of winter sports excellence, leisure and associated uses and related on and off site infrastructure.	DECISION: WCI 21.07.2006
REF: 1299/00/	CHANGE OF USE FROM AGRICULTURAL TO RESIDENTIAL GARDEN.	DECISION: GTD 19.02.2001
REF: DC/17/03851	Discharge of conditions application for 2351/16 - Conditions 12,15,17 and 19	DECISION: GTD 15.08.2017

Dormouse (*Muscardinus avellanarius*)
 Survey Report, Construction Environmental
 Management Plan, Reptile Mitigation
 Strategy, Badger (*Meles meles*) Survey
 Report, 1823 SK10-40A - Proposed Phasing
 Plan.

REF: DC/18/02066	Application under Section 73 of the Town and Country Planning Act - 'Retail unit built with 6 flats above' - Variation of Condition 11 planning permission 3310/14 (Restriction of Operation Times).	DECISION: GTD 17.08.2018
REF: DC/19/01400	Discharge of Conditions Application for 3310/14 - Condition 8 (Land Contamination)	DECISION: GTD 29.04.2019
REF: DC/19/01775	Discharge of Conditions Application for 1755/17 - Condition 32 (Hard and Soft Landscaping Masterplan).	DECISION: GTD 15.07.2019
REF: DC/19/05435	Discharge of Conditions Application for 1755/17 - Condition 13 (Sustainability) (Part discharge in relation to Phase 4 only)	DECISION: GTD 11.03.2020
REF: DC/20/01369	Discharge of Conditions Application for 3310/14 - Condition 8 (Land Contamination)	DECISION: GTD 02.06.2020
REF: DC/20/02476	Regulation 3 Suffolk County Council Consultation SCC/0043/20MS/SCOPE - Request for a scoping opinion: Extension of time to complete restoration work	DECISION: RNO 29.06.2020
REF: 3321/15	Variation of Condition 6 (protection of site), Condition 8 (dust) & 12 (aftercare scheme) of Planning Permission MS/1039/15	DECISION: RNO 07.10.2015
REF: 3049/15	Change of use to storage of waste transfer skips and vehicles in conjunction with nearby waste transfer and recovery site	DECISION: RNO 23.10.2015
REF: 1039/15	Temporary use of land for screening & storage of inert subsoil for use in landfill restoration approved under planning permission MS/1158/11	DECISION: RNO 16.04.2015
REF: 3310/14	Erection of 270 dwellings comprising 110 x two-bedroom houses, 135 x 3 bedroom houses and 25 x 4 bedroom houses and associated garaging/car parking, landscaping, public open space, play areas and access to Bramford Road, together with	DECISION: GTD 17.06.2015

the construction of a convenience store with 6 x two-bedroom flats above, associated parking and servicing areas on land at Hackneys Corner.

REF: 3003/13	Revised site layout including site levelling and landscaping, improvement of surface water drainage facilities and relocation and erection of workshop building.	DECISION: RNO 31.10.2013
REF: 2719/13	Continued use of land for waste sorting and transfer, including storage of skips, parking of operational vehicles and portacabin accommodation.	DECISION: RNO 31.10.2013
REF: 1969/10	Application for extension of time for the implementation of the "SnOasis" a ski centre, holiday resort, centre of winter sports excellence, leisure and associated uses and related on and off site infrastructure (Originally permitted under outline planning permission OL/100/04).	DECISION: GTD 31.10.2011

PART THREE – ASSESSMENT OF APPLICATION

1. The Site and Surroundings

The application site is located on the western side of the B1113 (Bramford Road), to the north of the junction that links a single carriageway section with dual carriageway section that extends towards the A14 trunk road.

Outline planning permission and subsequent reserved matters were approved for a development of a business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping in November 2016 under reference 2351/16.

The existing 2016 permission (2351/16) was varied to ensure that the conditions reflected the phased nature of the scheme and the existing development is now being brought forward under outline planning permission 1755/17. Reserved matters approvals have been granted in respect of

- Phase 1 – Access,
- Phase 2 – Estate Roads and
- Phase 4 – Plot 4 (refs DC/19/01827 and DC/01793) and site-wide pre-commencement conditions, together with those parts of the phased pre-commencement conditions which relate to Phases 1, 2 & 4, have been fully discharged.

Accordingly, work commenced on-site at the end of 2019.

Subsequent submission of details for Phase was granted in July 2019 under DC/19/01827 and the submission of details for Phase 2 was granted in October 2019 under reference DC/19/01793 respectively.

This application before Members is an application made under Section 73 of the Town and Country Planning Act relating to Planning Permission 2351/16 previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements). This application has been made to tie the creation of the access road with the existing permissions and the other application currently in under reference DC/20/01175 also before Members at the same committee.

2. The Proposal

This application is made under Section 73 of the Town and Country Planning Act relating to Planning Permission 2351/16 previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements).

The current conditions read:

“20. ACTION REQUIRED PRIOR TO COMMENCEMENT OF DEVELOPMENT - PRE COMMENCEMENT CONDITION: DETAILS OF PROPOSED ACCESS REQUIRED. No part of the development shall be occupied until the access as approved under ref. 18/01897 has been laid out and constructed in its entirety. Thereafter the access shall be retained in its approved form. Reason - To ensure that the accesses are designed and constructed to an appropriate specification and made available for use at an appropriate time in the interests of highway safety.

And

26. ACTION REQUIRED PRIOR TO COMMENCEMENT OF DEVELOPMENT - PRE COMMENCEMENT CONDITION: PROVISION OF OFF ROAD CYCLE IMPROVEMENTS The off road cycle improvements approved under ref. 18/01897 shall be constructed before first occupation of any building on the site and thereafter maintained in that form unless otherwise agreed in writing by the Local Planning Authority. Reason - In the interests of highway safety and sustainable development by providing off carriageway pedestrian / cycle route to the site. The details must be approved before commencement to ensure delivery is feasible.”

This application seeks to vary these so as to read:

“Condition 20 Within 24 months of occupation of the first unit, or, if earlier, before the occupation of the third unit, the access as approved under ref. 18/01897 must be laid out and be made available for use. Thereafter, the junction between Addison Way and the new internal estate road must be reconfigured in accordance with the details set out in the Transport Assessment received on 23rd May 2016, so that it cannot be used by large commercial vehicles to egress the site.

And

Condition 26 Within 24 months of occupation of the first unit or, if earlier, before the occupation of the third unit, off-road cycle improvements along Bramford Road, between the site access and it’s junction with Addison Way, shall be completed in accordance with a scheme that has first been submitted to and approved by the local planning authority.”

3. The Principle Of Development

3.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 states:

“If regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.”

3.2 It is therefore the starting point for the Council when determining planning applications and so we must first consider the application in the light of relevant Development Plan policies.

3.3 The principle of development for a logistics park on this site has already been established in large part by the planning permission granted under application reference 2351/16 and the subsequent Section 73 which varied the original scheme under reference 1755/17 and the reserved matters applications (DC/19/01827 and DC/01793).

3.4 As such given the existing extant permissions the principle of development is considered acceptable and members are reminded this is a variation of condition application although it will result in the creation of a new permission if approved. That permission is subject to the same S106 requirements and other conditions as previously agreed.

4. Nearby Services and Connections Assessment Of Proposal

4.1. The application site is situated outside any settlement boundary however it is well connected due to its proximity to the A14 which provides a dual carriage link direct to Felixstowe which is the largest container port in the United Kingdom (handling over 42% of all the country's containerised trade). It is the sixth busiest port in Europe and the A14 links it directly to the M1, M6, M42 'golden triangle', where many of the main logistic companies in the country are based.

4.2 There are existing employment uses to the north and east of the site and this area is considered to be an established employment location, with good access to a large, skilled, workforce living in Stowmarket, Needham Market and the Ipswich Policy Area. There is also the Sproughton Enterprise Park nearby together with SnOasis although this has not yet been developed.

5. Site Access, Parking And Highway Safety Considerations

5.1 The application is submitted under Section 73 of the Town and Country Planning Act and seeks to vary Planning Permission 2351/16 as previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements).

5.2 The variation of these conditions is purely in relation to the time frame for these to be implemented.

5.3 SCC Highways has been consulted and raises no objection in relation to the variation of Condition 20.

5.4 It should be noted that the principle reason for these variations in terms of timing for construction/implementation is to avoid disruption of the public's unobstructed use of the highway that would arise from multiple works being taken in the same area. These multiple works would

only arise if permission is granted to DC/20/01175 which is before Members today. With a recommendation to approve.

5.5 With regards to the variation of Condition 26 (Off road cycle route improvements) whilst there is no objection to the proposed time frame of within 24 months it is considered that then suggested amendment from the applicant be adjusted in order to facilitate the infrastructure improvements alongside expanding development and the demand it will generate for sustainable transport. As such Officers suggest that Condition 26 should be altered to a trigger of second occupation.

5.6 It is therefore recommended to Members that Condition 24 should read as follows:

“ Prior to the occupation of the second unit, [from within units 2-9 inclusive] the off-road cycle improvements along Bramford Road, between the site access and it’s junction with Addison Way, shall be completed in accordance with a scheme that has first been submitted to and approved by the local planning authority.”

6. Design And Layout [Impact On Street Scene]

6.1. The application is submitted under Section 73 of the Town and Country Planning Act and seeks to vary Planning Permission 2351/16 as previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements). The design and layout is not proposed to change. The variation of these conditions is purely in relation to the time frame for these to be implemented.

7. Landscape Impact, Trees, Ecology, Biodiversity And Protected Species

7.1. The application is submitted under Section 73 of the Town and Country Planning Act and seeks to vary Planning Permission 2351/16 as previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements). This Section 73 would have no bearing on any matters of landscape impact, trees, ecology, biodiversity and protected species.

8. Land Contamination, Flood Risk, Drainage and Waste

8.1. The application is submitted under Section 73 of the Town and Country Planning Act and seeks to vary Planning Permission 2351/16 as previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements). This Section 73 would have no bearing on any matters of land contamination, flood risk or drainage and waste, all of which have previously been dealt with under extant permissions.

9. Heritage Issues [Including The Impact On The Character And Appearance Of The Conservation Area And On The Setting Of Neighbouring Listed Buildings]

9.1. The proposed development site does not lie within a Special Landscape Area or a Conservation Area and there are no listed buildings nearby. The proposed development would therefore not have any detrimental impact in this regard and is considered acceptable.

10. Impact On Residential Amenity

10.1. The application is submitted under Section 73 of the Town and Country Planning Act and seeks to vary Planning Permission 2351/16 as previously varied by 1755/17 for the variation of Conditions

20 (Proposed access road details) and 26 (Off road cycle route improvements). The proposal would not have a significant adverse impact on residential amenity of any nearby neighbours. The proposal would not affect the privacy of the nearby properties nor their visual amenity. The proposal is acceptable in this regard.

11. Planning Obligations / CIL (delete if not applicable)

- 11.1 A Deed of Variation will be required to link this amended permission to benefits arising from a previous S106 Agreement on the earlier phases of development at Port One and extend them to include additional space within the latest phase.
- 11.2 All the other infrastructure impacts of the proposal would be subject to funding via CIL, if and where applicable.

PART FOUR – CONCLUSION

12. Planning Balance and Conclusion

As this application is a Section 73 to vary conditions relating to permission 2351/16 previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements). The principle of development has already been established and is considered acceptable.

The varying of condition 20 (Proposed access road details) to “within 24 months of occupation of the first unit” is considered acceptable in line with comments received from SCC Highways and given the current development of the site and the potential for DC/20/01175 to be brought forwards.

Condition 26 regarding (Off road cycle route improvements), should however read “ Prior to the occupation of the second unit, [from units 2-9 inclusive] the off-road cycle improvements along Bramford Road, between the site access and it’s junction with Addison Way, shall be completed in accordance with a scheme that has first been submitted to and approved by the local planning authority.” as per SCC Highways request and to ensure that the cycle route improvements are brought forwards quickly.

In light of the above principle being acceptable and the variation of conditions serving to alter the time periods for elements to be brought forwards the recommendation is for approval in line with SCC Highways comments particularly regarding variation of condition 26.

RECOMMENDATION

[1] The application be deferred and that subject to an appropriate Deed of Variation being completed to the satisfaction of the Chief Planning Officer in respect of ensuring any new permission granted as a result of this S73 application and/or the concurrent planning application is/are tied appropriately to the original S106 Agreement.

Then [2] the Chief Planning Officer be authorised to GRANT planning permission for the amended conditions as described which will necessitate a new planning permission which shall itself include all previous conditions on the earlier relevant approval save for the use of the amended wording agreed in respect of conditions 20 and 26.

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Application No: DC /20/03891

Location: Port One, Bramford Road, Gt Blakenham. [S73 application]

		Page No.
Appendix 1: Call In Request	<i>none</i>	
Appendix 2: Details of Previous Decision	<i>Long planning history included in committee report on this item and that for DC/20/01175</i> <i>Change of condition 20 & 26 relates to Permission 2351/16 as varied by 1755/17</i>	
Appendix 3: Town/Parish Council/s	<i>Gt Blakenham</i> <i>Lt Blakenham</i> <i>Claydon</i>	
Appendix 4: National Consultee Responses		
Appendix 5: County Council Responses	<i>Highways</i> <i>Developer Contributions</i>	
Appendix 6: Internal Consultee Responses	<i>EHO pollution</i> <i>Public Realm</i>	
Appendix 7: Any other consultee responses	<i>none</i>	
Appendix 8: Application Site Location Plan	<i>Yes</i>	
Appendix 9: Application Plans and Docs	<i>no</i>	



Babergh and Mid Suffolk District Councils



Appendix 10: Further information		
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The attached appendices have been checked by the case officer as correct and agreed to be presented to the committee.



From: Great Blakenham <gtblakenhampc@icloud.com>
Sent: 19 October 2020 11:07
To: BMSDC Planning Area Team Blue <planningblue@baberghmidsuffolk.gov.uk>
Cc: Great Blakenham <gtblakenhampc@icloud.com>
Subject: Re: MSDC Planning Consultation Request - DC/20/03891

Good morning

Please see below for Great Blakenham Parish Council's comments on this application.

Application to vary Conditions 20 and 26 of planning permission ref. DC/20/03891 development of business and logistics park to provide commercial floor space, principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping.

The applicant is requesting a two year delay in opening the access on to the B1113 and to be able to continue accessing the site through Addison Way. Great Blakenham Parish Council unanimously objects to this application as the junction between Addison Way and the B1113 is already overloaded with traffic, with consequent problems for vehicles turning in and out, particularly at peak times of the day. This section of the B1113 has numerous junctions with both residential and housing areas and permitting extra traffic to use the Addison Way junction would increase the frequency of accidents and near misses. Flooding at the bottom of Addison Way is a hazard and is increasing in both frequency and severity, although this has been reported to Highways on numerous occasions over recent years. Mud on the road is also a problem along this stretch of the B111. and would only be increased by allowing construction traffic to use Addison Way. This has also been reported to Highways on numerous occasions. The Council also notes that Addison Way does not have separate pedestrian or cyclist facilities through to the site which will discourage the use of more environmentally friendly forms of transport and put cyclists and pedestrians at more risk.

Regards

Janet Gobey
Clerk and Responsible Financial Officer
Great Blakenham Parish Council

[Email:pc@greatblakenham.suffolk.gov.uk](mailto:pc@greatblakenham.suffolk.gov.uk)
Phone: 07508830777

Parish Council website: greatblakenham.suffolk.cloud

To view our Privacy Policy, please go to: [GDPR Privacy notices](#)


On 10 Sep 2020, at 17:13, planningblue@baberghmidsuffolk.gov.uk wrote:

From: Parish Clerk Little Blakenham <littleblakenhampc@outlook.com>

Sent: 01 October 2020 13:02

To: BMSDC Planning Mailbox <planning@baberghmidsuffolk.gov.uk>

Subject: RE: Planning application consultation request DC/20/03891

 **EXTERNAL EMAIL: Don't click any links or open attachments unless you trust the sender and know the content is safe. Click [here](#) for more information or help from Suffolk IT**

Good morning

Thank you for your email, The Council unanimously agreed that they had no objection to this application on a temporary basis, but agreed that it was important that a time limit was fixed in the approval conditions. The Council felt that the time limit should be no more than five years.

Regards

Janet Gobey
Clerk and Responsible Financial Officer
Little Blakenham Parish Council

Consultee Comments for Planning Application DC/20/03891

Application Summary

Application Number: DC/20/03891

Address: Land At Blackacre Hill Bramford Road Great Blakenham Suffolk

Proposal: Application under Section 73 of the Town and Country Planning Act relating to Planning Permission 2351/16 previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements)

Case Officer: Katherine Hale

Consultee Details

Name: Mrs Charmaine Greenan

Address: Valley View, Church Lane, Claydon Ipswich, Suffolk IP6 0EG


Email: claywhit@btinternet.com

On Behalf Of: Claydon And Whitton Parish Clerk

Comments

The Parish Council have no objections to this application.

From: Planning EE <PlanningEE@highwaysengland.co.uk>
Sent: 30 September 2020 13:18
To: BMSDC Planning Mailbox <planning@babberghmidsuffolk.gov.uk>
Cc: growthandplanning <growthandplanning@highwaysengland.co.uk>; Willison, Simon p <simon.willison@aecom.com>
Subject: DC/20/03891 Consultation Response

 **EXTERNAL EMAIL: Don't click any links or open attachments unless you trust the sender and know the content is safe. Click [here](#) for more information or help from Suffolk IT**

Dear Sir/Madam

Thank you for your consultation on the above planning application.

We have reviewed the details and information provided. Due to the location and nature of the proposed development, there is unlikely to be any adverse effect upon the Strategic Road Network.

Consequently, we offer **No Comment**.

Kind Regards

JARROD GOY

Spatial Planning

Highways England | Woodlands | Manton Lane | Bedford | MK41 7LW

Web: <http://www.highways.gov.uk>

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Highways England Company Limited | General enquiries: 0300 123 5000
| National Traffic Operations Centre, 3 Ridgeway, Quinton Business Park,
Birmingham B32 1AF | [https://www.gov.uk/government/organisations/highways-](https://www.gov.uk/government/organisations/highways-england)
[england](http://www.highwaysengland.co.uk) | info@highwaysengland.co.uk

Registered in England and Wales no 9346363 | Registered Office: Bridge House, 1 Walnut Tree Close, Guildford, Surrey GU1 4LZ

Consider the environment. Please don't print this e-mail unless you really need to.

Your Ref:DC/20/03891
Our Ref: SCC/CON/3650/20
Date: 1 October 2020
Highways Enquiries to: Highways.DevelopmentControl@suffolk.gov.uk



All planning enquiries should be sent to the Local Planning Authority.

Email: planning@babberghmidsuffolk.gov.uk

The Planning Department
MidSuffolk District Council
Planning Section
1st Floor, Endeavour House
8 Russell Road
Ipswich
Suffolk
IP1 2BX

For the attention of: Katherine Hale

Dear Katherine,

TOWN AND COUNTRY PLANNING ACT 1990

CONSULTATION RETURN: DC/20/03891

PROPOSAL: Application under Section 73 of the Town and Country Planning Act relating to Planning Permission 2351/16 previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements)

LOCATION: Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

ROAD CLASS: B

Notice is hereby given that the County Council as Highway Authority does not object to the proposal to vary Condition 20 subject to the other previously appended highway-related conditions being applied to the new permission (where they are still relevant); however, the proposal to vary Condition 26 has not been shown to be acceptable.

The proposed revised conditions are:

Condition 20

Within 24 months of occupation of the first unit, or, if earlier, before the occupation of the third unit, the access as approved under ref. 18/01897 must be laid out and be made available for use. Thereafter, the junction between Addison Way and the new internal estate road must be reconfigured in accordance with the details set out in the Transport Assessment received on 23rd May 2016, so that it cannot be used by large commercial vehicles to egress the site.

Condition 26

Within 24 months of occupation of the first unit or, if earlier, before the occupation of the third unit, off-road cycle improvements along Bramford Road, between the site access and its junction with Addison Way, shall be completed in accordance with a scheme that has first been submitted to and approved by the local planning authority.

Comment:

The technical note concludes that the Addison Way junction should operate well within capacity in vehicular-terms in 2023. There being no material safety concerns with this junction either, it is agreed

Endeavour House, 8 Russell Road, Ipswich, Suffolk. IP 1 2BX

that the proposed variation to Condition 20 is acceptable. It should be noted, however, that the principle benefit promoted as justification for the proposal, being the avoidance of disruption to the public's enjoyment of the highway from multiple works, would only arise if permission is granted to planning application DC/20/01175 including an enlarged access that is then implemented without previously constructing the access previously approved.

To be clear there are two suggestions promoted in addition to that above that don't appear to be as beneficial. Reference is made to a 'shared lagoon' in the technical note, implying that construction of this could also cause disruption. There's no evidence presented showing why construction of such a feature should cause disruption to the use of Bramford Road. Moreover, although discussions between the Developer and County Council are ongoing on a proposal for such a feature, no agreement has been made to proceed with delivery of such a scheme at this time. Reference is also made to highway improvement works associated with the proposed 'SnOasis' development. These works are outside of the applicant's control. As such, it is very unlikely that overall disruption to the use of the highway can be reduced by arranging for all these, as well as the access works, to be carried out at the same time. It is also the County Council's usual policy to avoid multiple schemes on the same route at the same time, as this increases the risk of severe disruption.

The most concerning part of the application is the delay to the provision of improvements to the highway and access therefrom to the new buildings for pedestrians and cyclists. This is not addressed in the note. It can be confirmed that it does not now appear to be feasible to complete the construction of the shared route along the west side of Bramford Road that was required by the original permission. This would have connected to the length of shared route recently constructed to the north. In addition, for safety and maintenance reasons, the highway authority has decided it is not acceptable to introduce a single pedestrian refuge just to the north of Chapel Lane, as had been expected to be provided by the developer of the new housing on the east side of the road. Addison Way does not have separate pedestrian or cyclist facilities through to the site. As such, it is necessary to regularise the infrastructure improvements required to make the development acceptable and, it is recommended that some or all of these works are necessary sooner than the applicant's proposed condition.

Yours sincerely,

Christopher Fish
Senior Development Management Engineer
Growth, Highways and Infrastructure

Your ref: DC/20/03891
Our ref: Great Blakenham – land at Blackacre
Hill, Bramford Road 46809
Date: 16 September 2020
Enquiries: Neil McManus
Tel: 07973 640625
Email: neil.mcmanus@suffolk.gov.uk

Katherine Hale,
Growth & Sustainable Planning,
Babergh and Mid Suffolk District Councils,
Endeavour House,
8 Russell Road,
Ipswich,
Suffolk,
IP1 2BX

Dear Katherine,

Great Blakenham: land at Blackacre Hill, Bramford Road – Section 73 application

I refer to the proposal: application under Section 73 of the Town and Country Planning Act relating to planning permission 2351/16 previously varied by 1755/17 for the variation of Conditions 20 (proposed access road details) and 26 (off-road cycle route improvements).

The original application under reference 2351/16 has an associated planning obligation dated 16 November 2016, which was varied by a Deed of Variation dated 12 April 2019. The planning obligation previously secured under the first and second planning permissions must remain in place if approval to the Section 73 application is granted by the local planning authority – to be secured by a new Deed of Variation. The county council will need to be a party to this Deed of Variation and will require an undertaking for its legal costs.

The proposed removal of Conditions 20 and 26 is a matter for the local Highway Authority to consider in the context of the National Planning Policy Framework, local plan policies, and relevant statutory and non-statutory guidance.

Yours sincerely,

Neil McManus BSc (Hons) MRICS
Development Contributions Manager
Growth, Highways & Infrastructure

cc Sam Harvey, SCC (highways)

From: David Harrold <David.Harrold@babberghmidsuffolk.gov.uk>
Sent: 30 September 2020 09:45
To: BMSDC Planning Mailbox <planning@babberghmidsuffolk.gov.uk>
Cc: Katherine Hale <Katherine.Hale@babberghmidsuffolk.gov.uk>
Subject: Plan ref DC/20/03891 Land At Blackacre Hill, Bramford Road, Great Blakenham.
Environmental Health - Noise/Odour/Light/Smoke

Thank you for consulting me on the above application for the variation of condition 20 (proposed access road details) and 26 (off road cycle route improvements)

I can confirm with respect to noise and other environmental health issues that I do not have any comments to make and no objection to the proposal.

I trust this is of assistance.

David Harrold MCIEH
Senior Environmental Health Officer

Babergh & Midsuffolk District Councils
t: 01449 724718
e: david.harrold@babberghmidsuffolk.gov.uk

RE: DC/20/03891 - Land at Blackacre Hill Bramford Road Great Blakenham

Public Realm do not wish to respond. This variation does not impact on any public open space.

Dave Hughes

Public Realm Officer

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Application No: DC/20/01175

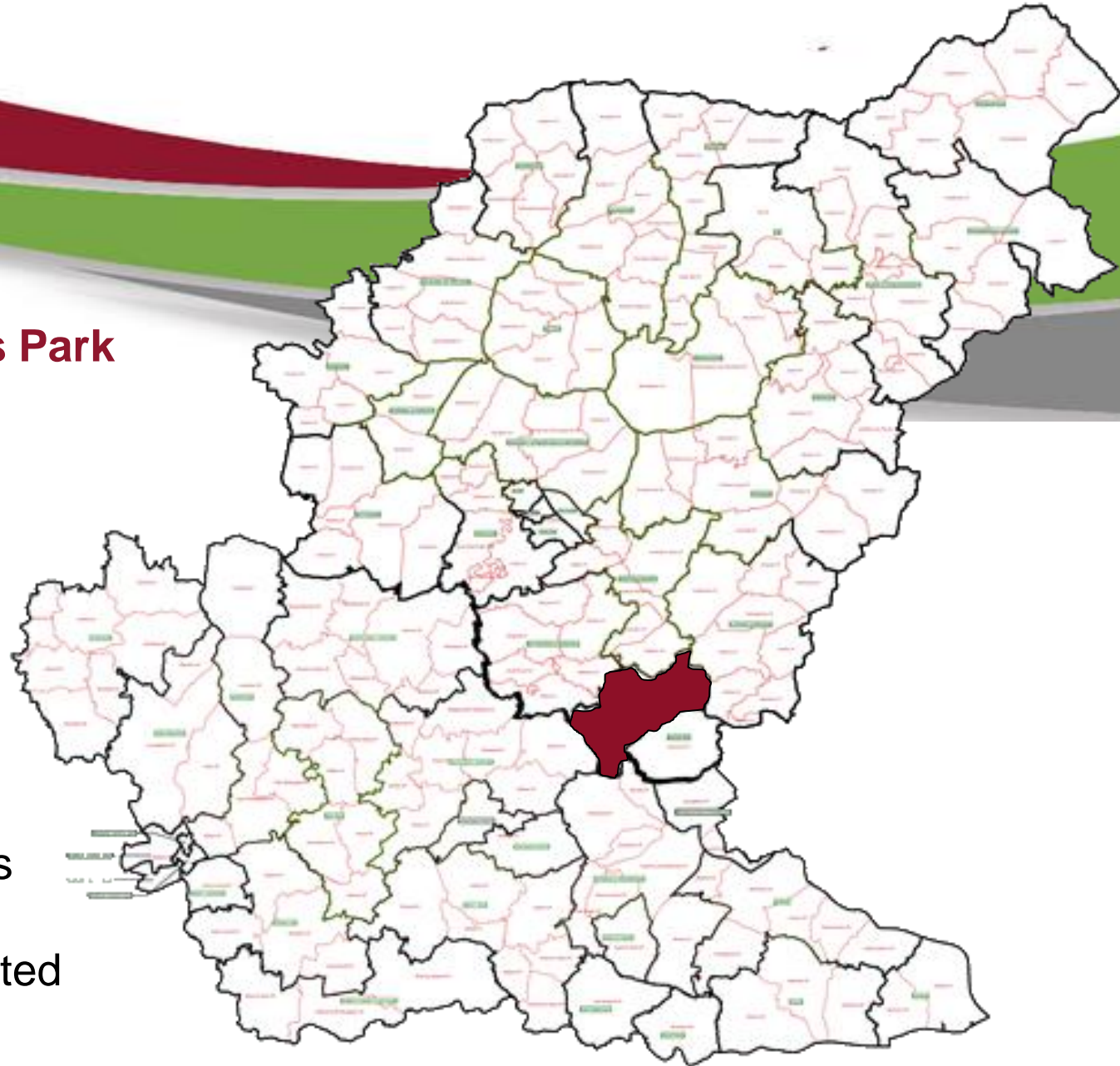
Address:

**Land Adj Port One Business and Logistics Park
Blackacre Hill
Bramford Road
Great Blakenham
Suffolk IP6 0RL**

Proposal:

Outline Planning Permission.
(Access to be considered)

Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping



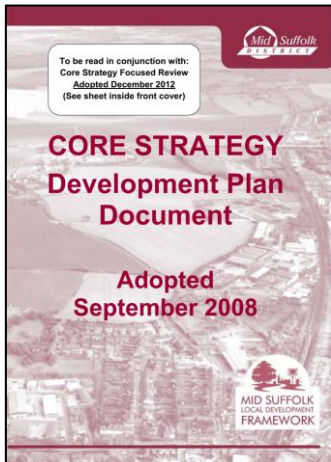
GREAT BLAKENHAM

Page 50

is a

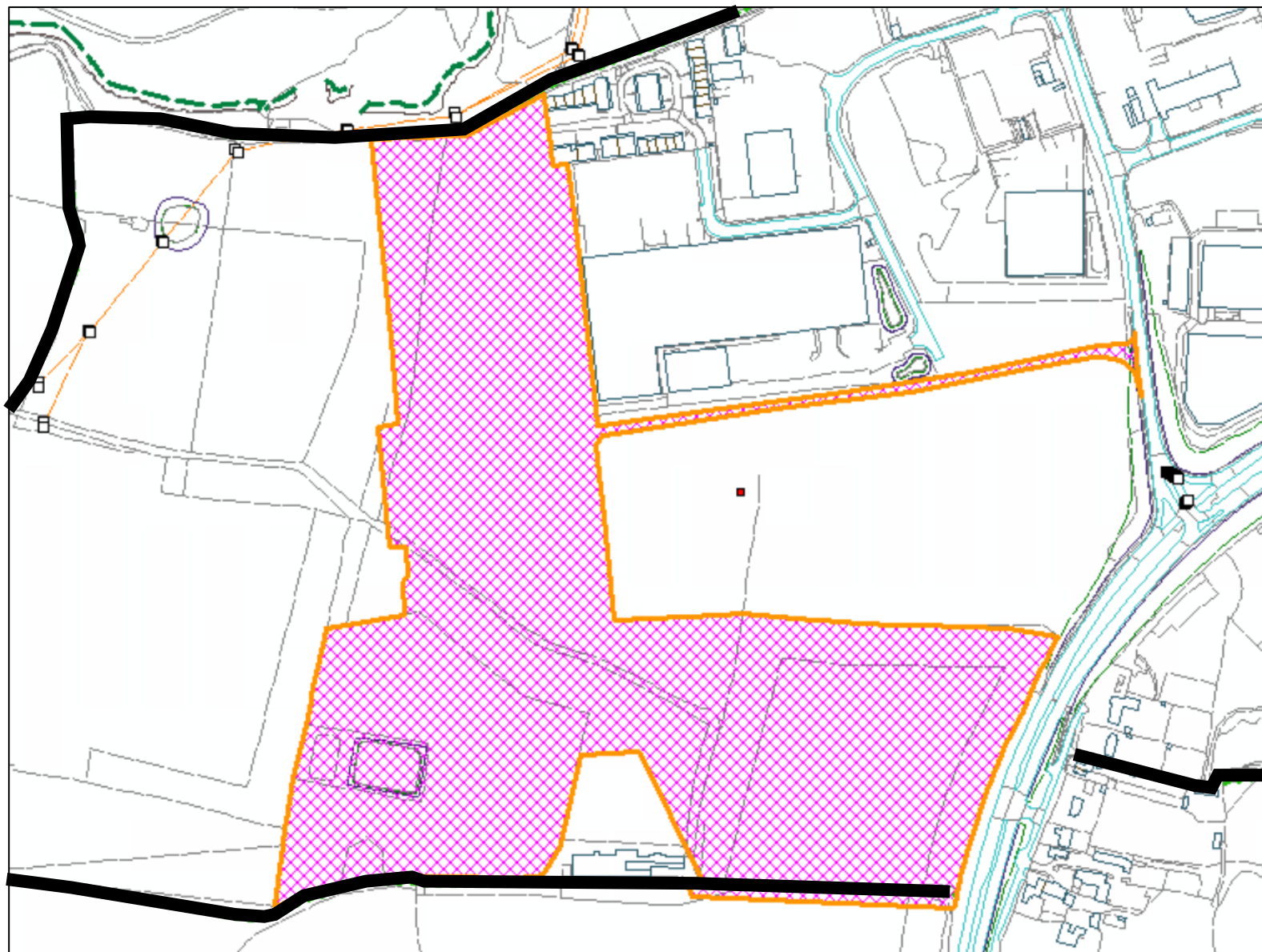
Key Service Centre

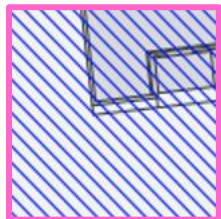
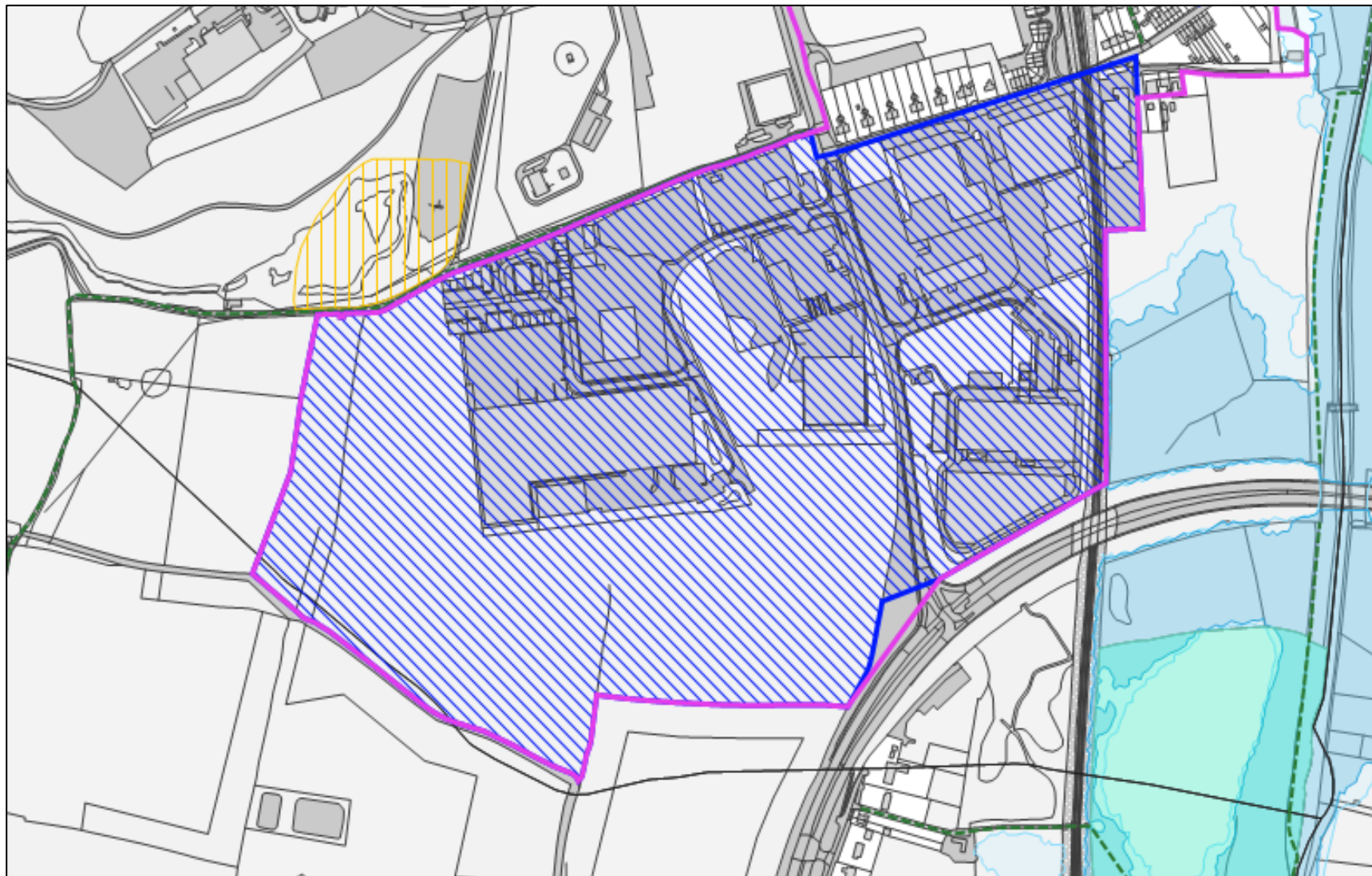
“The majority of new development (including retail, employment and housing allocations) will be directed to towns and key service centres....”



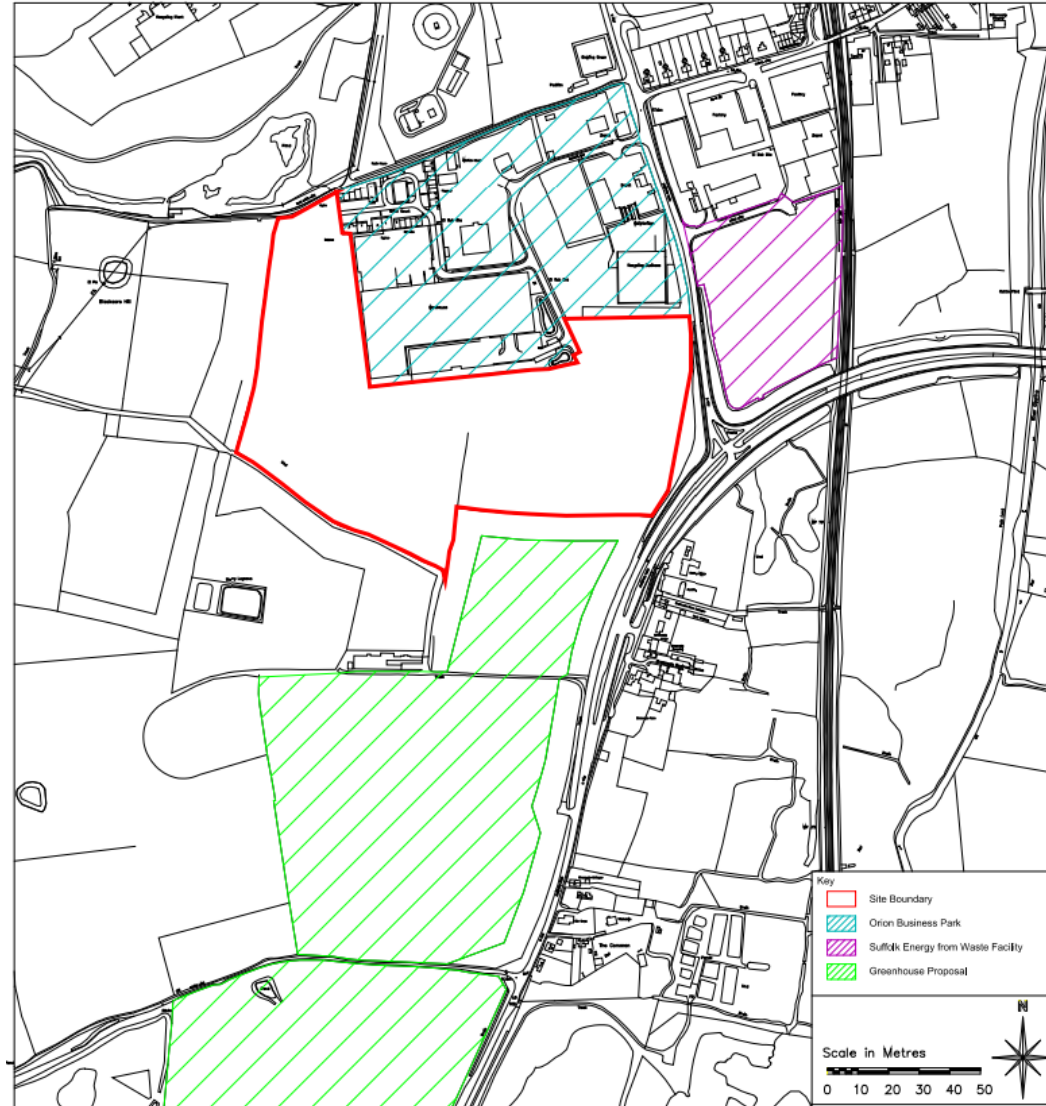











Existing site plan for approved outline 2351/16 and the greenhouse site approved under reference 3655/13



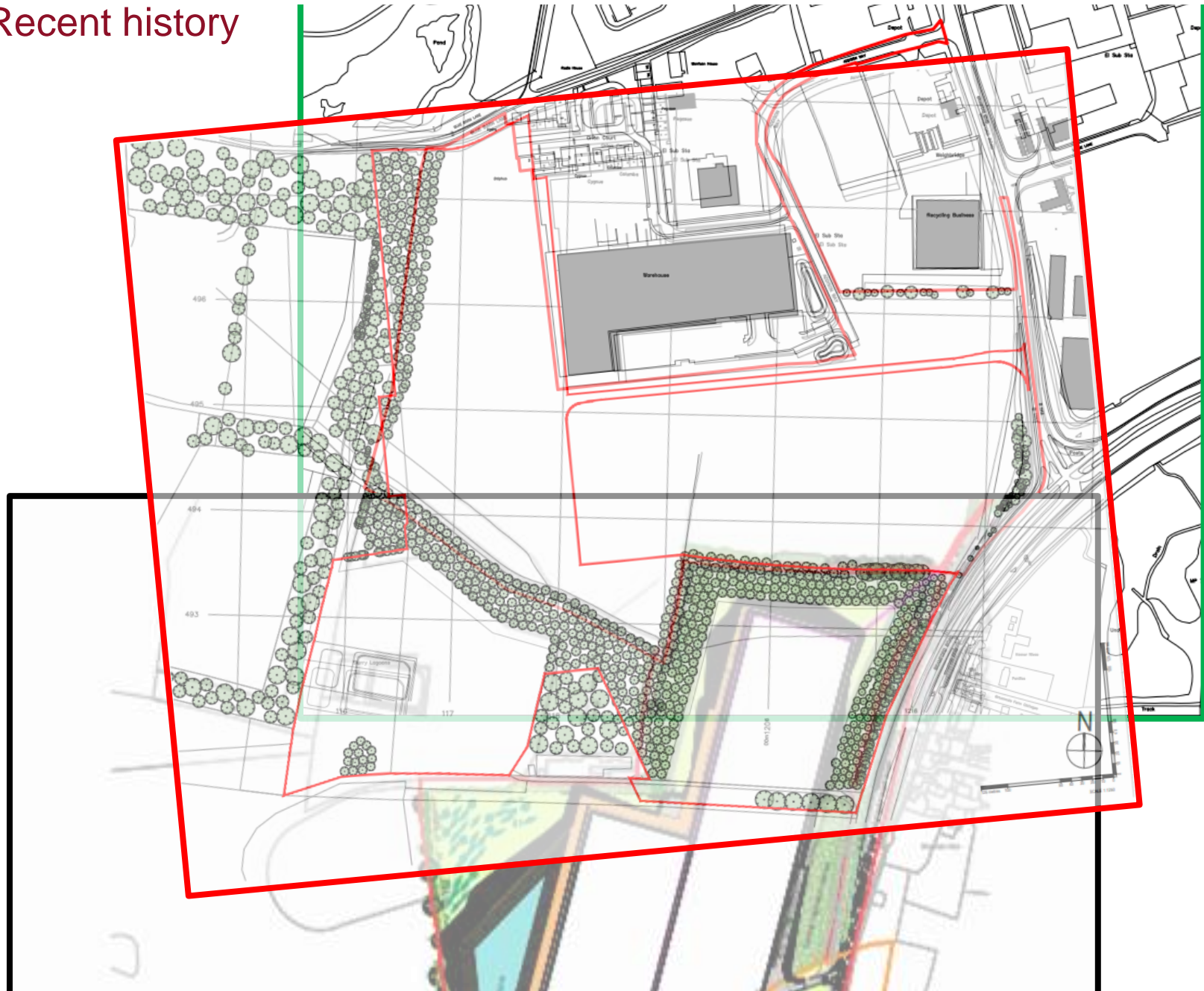
-  Site Boundary
-  Orion Business Park
-  Suffolk Energy from Waste Facility
-  Greenhouse Proposal

Recent history

original pp.

greenhouse pp.

current application

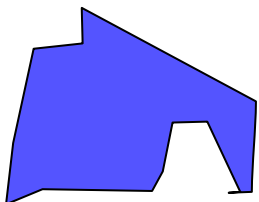


Current application site

slide 11



Page 59



just this part of site
sits outside of any
extant pp boundary

PORT ONE

LOGISTICS PARK ▾

PLANS & SPECS

CONTACT

NEWS

TYPICAL WAREHOUSE SPECIFICATION

- 18+ metre ridge height
- Superflat DM1 floor designed for VNA
- 50kN/m2 floor loading
- Ultra-fast fibre 1gb cable with optional resilience line
- Low rake telescopic lip dock levellers
- Level access doors
- Full height dock shelters for double deck trailers
- 50 metre institutional standard service yard
- High-spec offices with modern facilities and HVAC

Optional

- Low energy LED lighting with dim/on/off sensors and control
- Aspiration fire detection systems allowing complete layout flexibility

[MAKE AN ENQUIRY](#)





Policy SP05 – Employment Land

In order to support and encourage sustainable economic growth and ensure a continuous range and diversity of sites and premises which are fit for purpose are available across the Districts of Babergh and Mid Suffolk through the plan period the following existing strategic employment sites shall be protected and their proposed expansion supported in principle:

- i. Stowmarket – Churchfield Road, North Gipping Valley, Gipping Way Industrial Estate, Tomo Industrial estate
- ii. Sudbury – Wood Hall Business Park, Delphi Site, Woodhall Road, Chilton Industrial Estate, Woodhall Road
- iii. Villages around Ipswich
 - a) Claydon & Great Blakenham – Claydon Business Park, Addison Way, Bramford Rd/Lodge Lane Industrial Estate, Gipping Road Industrial Estate
 - b) Stowmarket – Stowmarket Industrial Estate
 - c) Sudbury – Sudbury Industrial Estate, Farthing Road Industrial Estate
- iv. Acton – Acton Business Park, Wherstead – Wherstead Business Park
- v. Eye – Eye Airfield, Former Sproughton
- vi. Hadleigh – Lady Eborac, Former Sproughton
- vii. Needham Market – Needham Market Industrial Estate
- viii. Woolpit – Lady's Wood, Woolpit Farm, Brickworks, Woolpit Business Park

Employment-led regeneration is supported at Brantham and at the Former Sproughton Sugar Beet regeneration sites.

Policy SP05 *continued*

Along the strategic transport corridors (A12, A14 and A140) development of net additional employment sites shall be supported in principle, subject to:

- a. adequate highway access and off-road parking for its type, mix, use and location; and**
- b. design and layout sensitive to its surroundings, including any landscape or heritage assets; and**
- c. new buildings should demonstrate high-quality design by having regard to the relevant policies of the Joint Local Plan.**

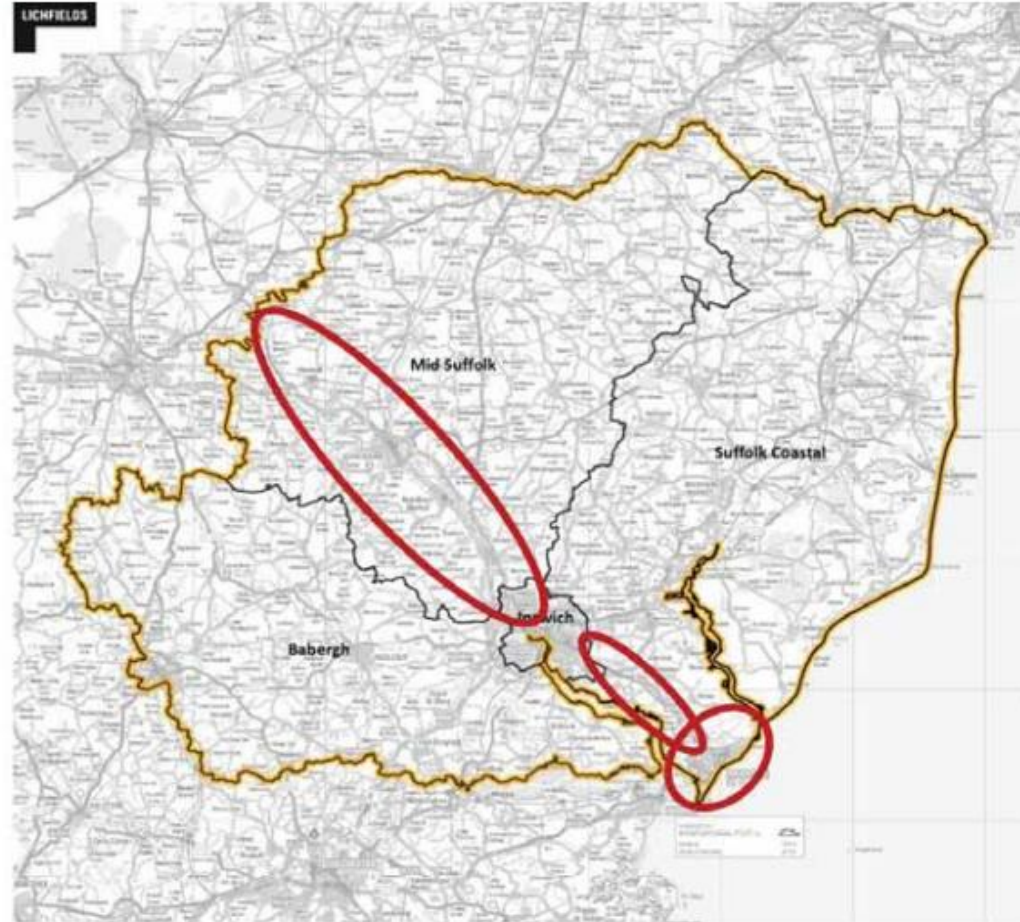
Existing employment areas in towns, core villages and clusters in rural areas are identified in B&MSDC employment land assessments. These sites should be retained and their expansion supported where appropriate in scale, character and nature of the locality. These sites will generally be expected to continue to provide for local employment over the plan period. If sites are to be redeveloped for alternative non-employment uses, the alternative provision (a “land swap”) and / or contributions to enable alternative employment provision must be secured.

strategic transport corridor [A14]

strategic transport corridor [A14]

Commercial floorspace demand

Figure 14.5 Key Property Market Areas and Demand - Transport and Logistics



Source: Lichfields analysis

Ipswich Economic Area Sector Needs Assessment (2017)

“Opportunities exist to significantly support the growth of port-based logistics activities in and around the Port of Felixstowe; availability of suitable land in close proximity to the port and the wider A14 corridor will therefore be critical to both support expansion of the Port itself as well as associated distribution centres along the study area’s key transport corridors.”



SUPPORT DELIVERY OF THE COUNCIL'S JOINT STRATEGIC PRIORITIES, THE SUFFOLK GROWTH FRAMEWORK, NEW ANGLIA ECONOMIC STRATEGY AND THE GOVERNMENT'S INDUSTRIAL STRATEGY

HELP TO DELIVER 10,000 NEW JOBS

DELIVER A RANGE OF DIFFERENT TYPES, SIZES AND LOCATIONS OF EMPLOYMENT LAND AND PREMISES TO MEET BOTH IDENTIFIED BUSINESS SECTORAL NEEDS AS WELL AS GENERAL EMPLOYMENT SITES

SECURE GREATER INWARD INVESTMENT AND ACCESS TO FUNDING

attractive
strategic
growth
new jobs
quickly
recovery

Page 66

No objection

“This application contains land that is a natural extension to the existing Port One Business Park which is currently under construction and the application also deals with the master planning and phased development of land included in pp 2351/16. The location near to junction 52 of the A45 and close to the Copdock interchange with the A12 **makes it attractive to Port-Centric logistics and also for regional manufacturing and distribution operations and therefore it is a strategic employment site for the district. The increase in size of the Business Park will help to support future economic growth in the Ipswich Fringe Area. The expanded site would also support up to 675 FTE new jobs for the district.** The height and scale of the proposed buildings on the site reflects the demand for larger sized premises, especially to support the latest high tech logistics & distribution operations as well as the industrial nature of existing surrounding commercial activities. **This is land that can be developed and brought to the market relatively quickly to help support future recovery and growth for both the local and regional economy.** I, therefore, support the application.”

Existing Access off Addison Way (in Only)



New Access priority junction – left turns in and right turns out ONLY



Proposed Layout [southern part of site] - illustrative



current proposal + existing and under construction

slide 22



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Site Access Signal Junction and Footpath to Bramford Road



Indicative sections



barefoot & gilles	
Port One Great Blakenham Curzon De Vere Ltd Site Sections	
Scale: 1:1000 @A1	Date: 18 06 2020
Ref: 1823 DE 10-006	Sheet: A
PLANNING	
1. Proposed 2. Existing 3. Proposed Landscaping 4. New trees 5. Existing trees	6. Planning Boundary 7. Existing Buildings 8. Existing and proposed landscaping 9. Proposed Landscaping 10. New trees 11. Existing trees
© Copyright Barefoot & Gilles 2020	

Mid Suffolk District Council supporting the economy and jobs
Tall buildings Great Blakenham: SnOasis

slide 25



Mid Suffolk District Council supporting the economy and jobs

Tall buildings – Great Blakenham



Mid Suffolk District Council supporting the economy and jobs
Sterling Suffolk's Greenhouse

slide 27



Application No: DC/20/01175

Address:

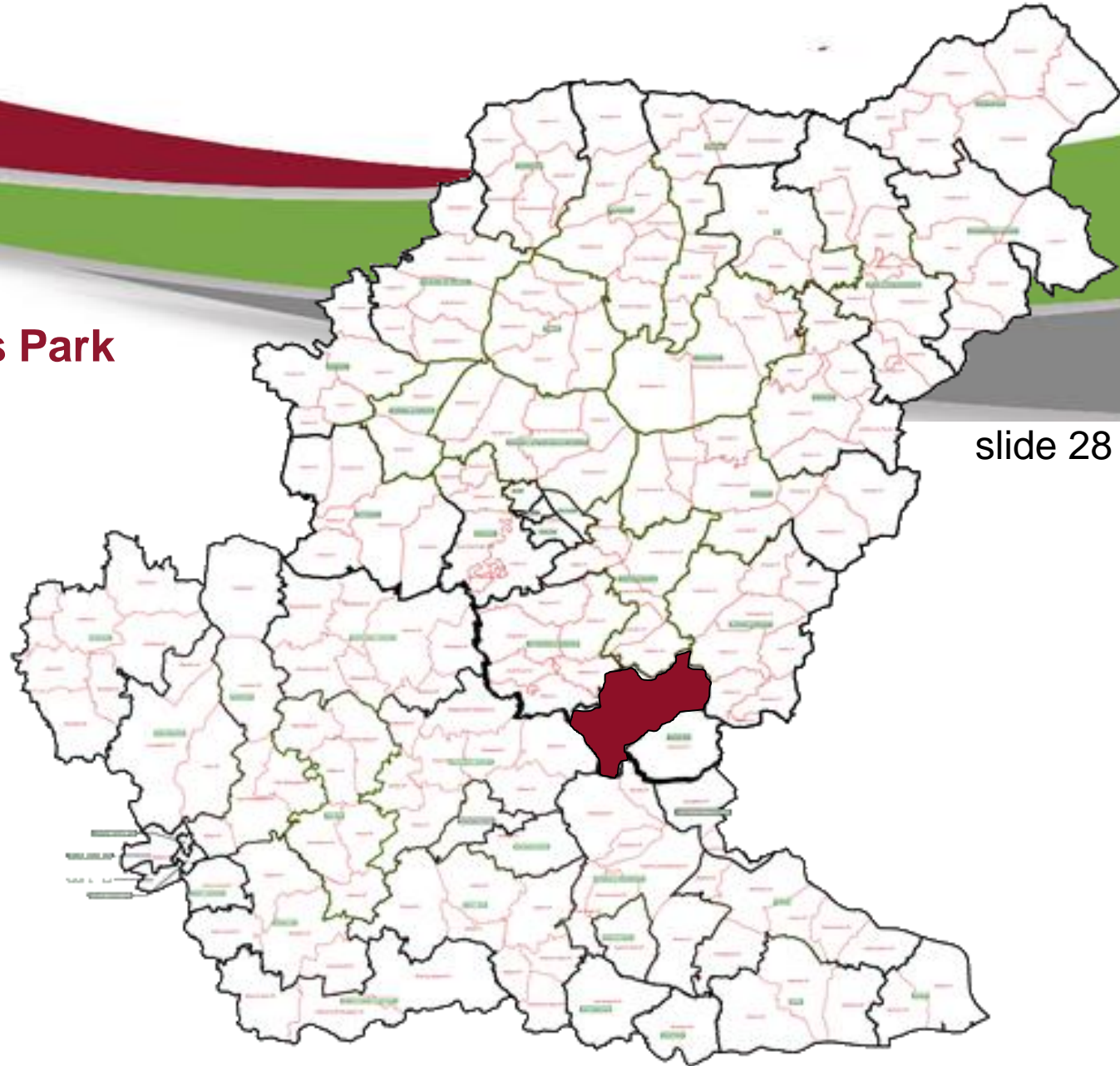
**Land Adj Port One Business and Logistics Park
Blackacre Hill
Bramford Road
Great Blakenham
Suffolk IP6 0RL**

Page 76

RECOMMENDATION*

subject to a Deed of Variation (to link this development to benefits arising from a previous S106 Agreement on the earlier phases of development)

GRANT PERMISSION
with conditions



slide 28

Agenda Item 7b

Committee Report

Item 7B

Reference: DC/20/01175

Case Officer: Katherine Hale

Ward: Blakenham

Ward Member/s: Cllr John Field.

RECOMMENDATION – GRANT PLANNING PERMISSION WITH CONDITIONS

Description of Development

Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping

Location

Land Adj Port One Business And Logistics Park, Blackacre Hill, Bramford Road, Great Blakenham Suffolk IP6 0RL

Expiry Date: 08/07/2020

Application Type: OUT - Outline Planning Application

Development Type: Major Large Scale - Manu/Ind/Storg/Wareh

Applicant: Curzon De Vere Ltd

Agent: The JTS Partnership LLP

Parish: Great Blakenham

Site Area: 17.30 hectares

Plot ratio: 1: 2.48 [total building floorspace (69,737 square metres) of site area]

Details of Previous Committee / Resolutions and any member site visit: None

Has a Committee Call In request been received from a Council Member (Appendix 1): No

Has the application been subject to Pre-Application Advice: Yes DC/19/05576

THIS REPORT IS NOW BEING RETURNED TO COMMITTEE FOLLOWING DEFERRAL AT THE MEETING OF 28 OCTOBER 2020 AS REQUESTED BY MEMBERS.

It will be supplemented with an additional revised presentation at the Committee meeting of 25 November

A short update now follows answering the questions raised by Members on 28 October 2020 and adding the necessary clarity and additional information where required.

The report then reproduces the earlier report from 28 October which is unchanged **as is the recommendation**

Supplementary Introduction following previous deferral

Members will recall that at the Committee meeting of 28 October 2020 this application was deferred after discussion to enable officers to provide additional information and clarification on specific points raised by Members.

The presentation that will accompany this item on 25 November will provide a comprehensive exploration of the issues but to assist Members prepare for the meeting a short summary is provided below.

Issues arising from the discussion on 28 October 2020

1. Officers need to clarify proposed building heights
2. What trees will be lost amongst the plantations/landscaping?
3. Officers need to explain the operation of the access and junction works
4. How is development justified in traffic terms – J52 A14?
5. Officers need to expand on ecology & Places Services comments
6. How will flood risk be mitigated?
7. Officers need to explain the relationship of this application to the concurrent S73 application and the recommended Deed of Variation

Summary

Building Heights

The five proposed buildings shown illustratively on the layout plan are depicted with building heights of:

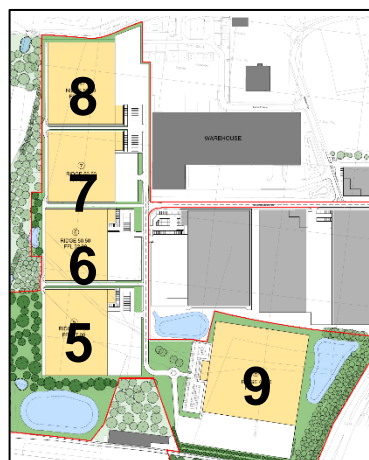
Plot 9: 20.5m

Plot 8: 17.5m

Plot 7: 17.5m

Plot 6: 18.5m

Plot 5: 14.5m



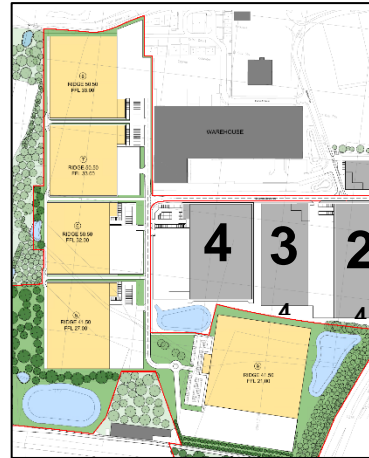
proposed units [yellow]

These proposed heights are compatible with those previously approved for plots 4,3 & 2.

Plot 4: 18.5m [currently close to completion]

Plot 3: 21.5m

Plot 2: 25.0m



Previously approved units [grey]

The [presentation will include cross-sections which will demonstrate that not only are the proposed buildings of a height that is compatible with those already within Port One [and significantly below the Energy from Waste building and the proposed SnoAsis Ski Run] but will be below tree heights on the Blakenham Estate to the west. This is due in part to the topography and the fact that the ground level within the development will be significantly lower than the land to the west.

Tree loss

The extent of tree loss has according to the applicant all been agreed with Lady Hart [the land-owner] who has agreed which trees should be retained as part of the sale arrangements.

No trees within the Blakenham Woodland Garden are affected as this is some way from the site and is not involved.

The presentation to Members on the day of the Committee meeting will describe the landscaping mitigation measures and it will be demonstrated that whilst some relatively new plantation trees will be lost:

- sufficient plantation will remain to provide a dense screen
- the proposed building on Plot 8 which is the one that intrudes into the plantation the most has been moved since the previous meeting to allow an additional swathe of tree belt to be retained *[this is welcomed and is a direct response to Member comments]*
- a large area of new planting will be delivered in the south-west corner of the site which will provide adequate recompense for those lost

Access arrangements

Proposed access serving Port One will be signalised agreed with SCC Highways via a S278 Agreement.

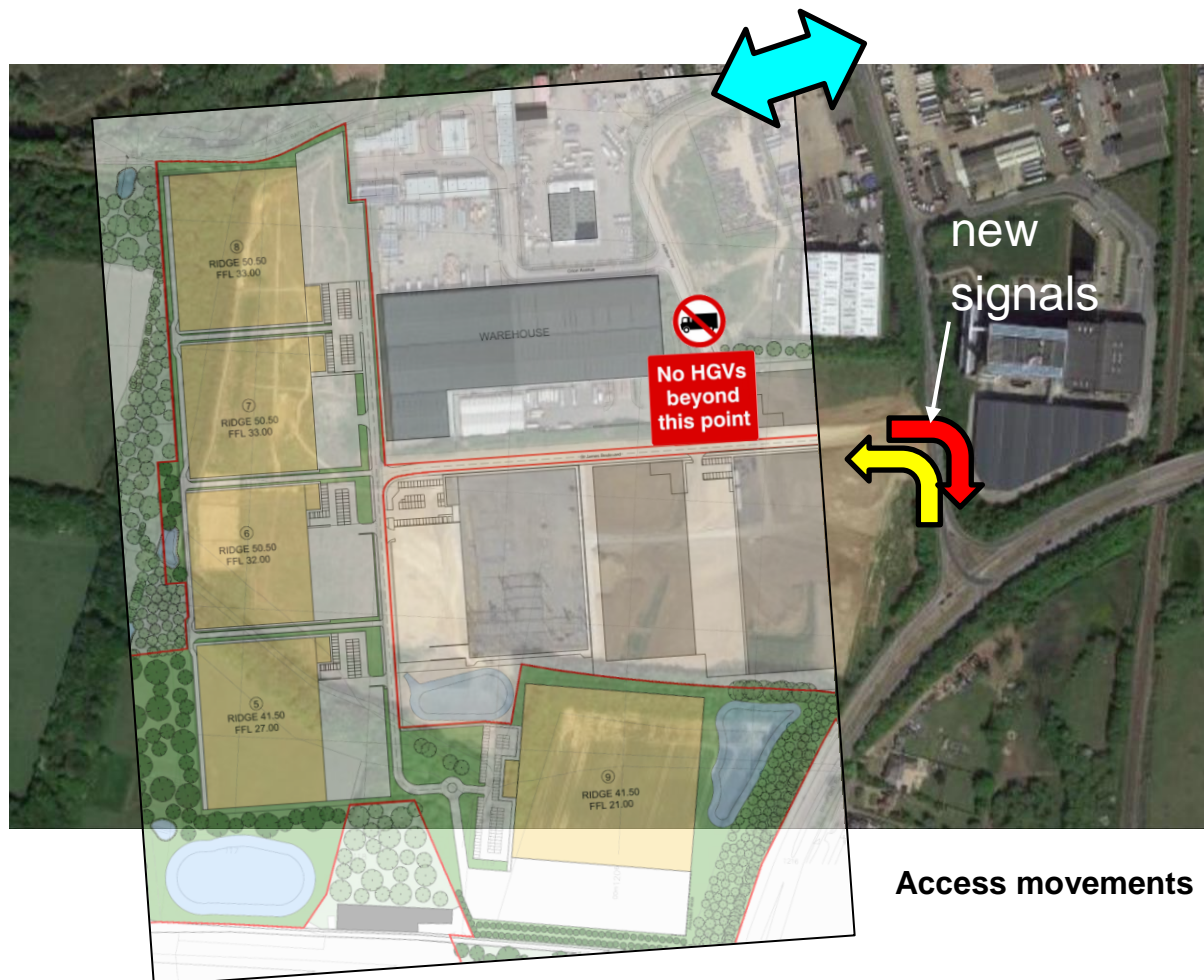
Once operational it will allow:

Left in movements from Bramford Road [northbound] for all vehicles

Right out only onto Bramford Road for all vehicles

Any ability for HGV's to move between the Addison Road access and the Port One development [and vice versa] will be stopped. Cycles, motor bikes, cars and light vans will be able to make that manoeuvre.

Addison Road will allow in and out but with the restriction identified above in respect of HGV's not being able to inter connect between the two industrial parks



The signalised access will also be provided with a toucan crossing facility, 3m wide extended footway cycleway.

J52 A14

The presentation will include reference to both Highways England advice and that from Suffolk County Highways as this was based on months of discussion, additional modelling and agreement between the applicants highway consultants and the relevant highway authorities.

Ecology and landscape

The presentation on the day of the Committee meeting will fully update Members by explaining the ecological and landscape mitigation included in the proposal and by reference to the various reports that were submitted with the application.

This list of documents includes:

Tree Bat Roost Assessment – June 2017, July 2017, August 2017, February 2018, August 2018, March 2020, September 2020

Badger – December 2019

Great Crested Newt – April 2020 (times 3), May 2020 (times 3)

Reptiles – April 2020, May 2020 (times 2), June 2020 (times 4)

Bat Survey - June 2020 (times 2), July 2020, August 2020

The full timeline is as follows:

Date of Survey	Ecological Survey Description	What Was Submitted?
15 th September 2020	Tree Roost Assessment	Preliminary Ecological Appraisal (Phases 1 and 2) Preliminary Ecological Appraisal (Phases 3 and 4) Tree (Bat) Roost Assessment – Rev 3 Tree Letter September 2020
13 th August 2020	Bat Transect Survey	Preliminary Ecological Appraisal (Phases 1 and 2) Preliminary Ecological Appraisal (Phases 3 and 4) Phase 3 & 4 – Bat Survey Report

29 th July 2020	Bat Transect Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Phase 3 & 4 – Bat Survey Report</p>
23 rd June 2020	Bat Transect / Lagoon Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Phase 3 & 4 – Bat Survey Assessment Amended – Rev B</p> <p>Ecology Assessment Letter June 2020</p>
18 th June 2020	Bat Transect Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Phase 3 & 4 – Bat Survey Assessment Amended – Rev B</p> <p>Ecology Assessment Letter June 2020</p>
15 th June 2020	Reptile Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p>

		Phase 3 – Reptile Survey Report – Rev A
12 th June 2020	Reptile Survey	Preliminary Ecological Appraisal (Phases 1 and 2) Preliminary Ecological Appraisal (Phases 3 and 4) Phase 3 – Reptile Survey Report – Rev A
9 th June 2020	Reptile Survey	Preliminary Ecological Appraisal (Phases 1 and 2) Preliminary Ecological Appraisal (Phases 3 and 4) Phase 3 – Reptile Survey Report – Rev A
5 th June 2020	Reptile Survey	Preliminary Ecological Appraisal (Phases 1 and 2) Preliminary Ecological Appraisal (Phases 3 and 4) Phase 3 – Reptile Survey Report – Rev A
28 th May 2020	Reptile Survey	Preliminary Ecological Appraisal (Phases 1 and 2) Preliminary Ecological Appraisal (Phases 3 and 4) Phase 3 – Reptile Survey Report – Rev A
27 th May 2020	Reptile Survey	Preliminary Ecological Appraisal (Phases 1 and 2)

		<p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Phase 3 – Reptile Survey Report – Rev A</p>
13 th May 2020	Great Crested Newt Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Great Crested Newt (<i>Triturus cristatus</i>) Survey Report</p> <p>Great Crested Newt (<i>Triturus cristatus</i>) Outline Mitigation Strategy</p>
5 th May 2020	Great Crested Newt Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Great Crested Newt (<i>Triturus cristatus</i>) Survey Report</p> <p>Great Crested Newt (<i>Triturus cristatus</i>) Outline Mitigation Strategy</p>
1 st May 2020	Great Crested Newt Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p>

		<p>Great Crested Newt (<i>Triturus cristatus</i>) Survey Report</p> <p>Great Crested Newt (<i>Triturus cristatus</i>) Outline Mitigation Strategy</p>
24 th April 2020	Reptile Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Phase 3 – Reptile Survey Report – Rev A</p>
17 th April 2020	Great Crested Newt Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Great Crested Newt (<i>Triturus cristatus</i>) Survey Report</p> <p>Great Crested Newt (<i>Triturus cristatus</i>) Outline Mitigation Strategy</p>
9 th April 2020	Great Crested Newt Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Great Crested Newt (<i>Triturus cristatus</i>) Survey Report</p>

		Great Crested Newt (<i>Triturus cristatus</i>) Outline Mitigation Strategy
3 rd April 2020	Great Crested Newt Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Great Crested Newt (<i>Triturus cristatus</i>) Survey Report</p> <p>Great Crested Newt (<i>Triturus cristatus</i>) Outline Mitigation Strategy</p>
March 2020	Tree Roost Assessment	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Tree (Bat) Roost Assessment – Rev 3</p>
6 th December 2019	Badger Survey	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p> <p>Badger (<i>Meles meles</i>) Survey Report</p>
August 2018	Tree Roost Assessment	<p>Preliminary Ecological Appraisal (Phases 1 and 2)</p> <p>Preliminary Ecological Appraisal (Phases 3 and 4)</p>

		Tree (Bat) Roost Assessment – Rev 3
20 th February 2018	Tree Roost Assessment	Preliminary Ecological Appraisal (Phases 1 and 2) Preliminary Ecological Appraisal (Phases 3 and 4) Tree (Bat) Roost Assessment – Rev 3
August 2017	Tree Roost Assessment	Preliminary Ecological Appraisal (Phases 1 and 2) Preliminary Ecological Appraisal (Phases 3 and 4) Tree (Bat) Roost Assessment – Rev 3
July 2017	Tree Roost Assessment	Preliminary Ecological Appraisal (Phases 1 and 2) Preliminary Ecological Appraisal (Phases 3 and 4) Tree (Bat) Roost Assessment – Rev 3
June 2017	Tree Roost Assessment	Preliminary Ecological Appraisal (Phases 1 and 2) Preliminary Ecological Appraisal (Phases 3 and 4) Tree (Bat) Roost Assessment – Rev 3

Flood risk

The strategy to be employed is based on surface water being taken southwards through a series of existing and new swales and pipes connecting such features to a large infiltration basin which will hold excess surface water. This feature will deal with exceedance flows as will the existing swale that runs east-west across the site at its southern end and the natural valley on part of its eastern edge that connects to that swale

The SuDS Authority has indicated that technical details can be resolved by condition at Reserved Matters stage of outline planning permission is granted.

S73

That is the subject of an application the full report for which now appears on the same agenda as this item

Recommendation

The officer recommendation [on behalf of the Chief Planning Officer] remains unaltered from that which appeared in the previous report. That report now follows....

Report from 28 October 2020 meeting follows.....

PART ONE – REASON FOR REFERENCE TO COMMITTEE

The application is referred to committee for the following reason/s:

- Is a Major application; and,
 - The application involves the creation of 69,737 square metres of commercial floor space which exceeds the threshold for 'delegated' determination.
-

PART TWO – POLICIES AND CONSULTATION SUMMARY

Summary of Policies

The Development Plan

The Adopted Development Plan for Mid Suffolk District Council comprises the Mid Suffolk Core Strategy Focused Review (2012), the Mid Suffolk Core Strategy (2008) and the Mid Suffolk Local Plan (1998), specifically the live list of 'saved policies' (2007).

The following are considered the most relevant to the determination of this proposal

Adopted Mid Suffolk Core Strategy (2008) (CS08)

- CS01 - Settlement Hierarchy
- CS02 - Development in the Countryside & Countryside Villages
- CS03 - Reduce Contributions to Climate Change
- CS04 - Adapting to Climate Change
- CS05 - Mid Suffolk's Environment

Adopted Mid Suffolk Core Strategy Focused Review (2012) (CSFR12)

- FC01 - Presumption In Favour Of Sustainable Development
- FC01_1 - Mid Suffolk Approach To Delivering Sustainable Development
- FC03 - Supply Of Employment Land

Adopted Mid Suffolk Local Plan (1998) (ADP98)

- GP01 - Design and layout of development
 - SB02 - Development appropriate to its setting
 - H17 - Keeping residential development away from pollution
 - CL08 - Protecting wildlife habitats
 - CL09 - Recognised wildlife areas
 - CL11 - Retaining high quality agricultural land
 - E03 - Warehousing, storage, distribution and haulage depots
 - E04 - Protecting existing industrial/business areas for employment generating uses
 - E06 - Retention of use within existing industrial/commercial areas
 - E09 - Location of new businesses
 - E10 - New Industrial and commercial development in the countryside
 - E11 - New Industrial and commercial development in the countryside
-

E12 - General principles for location, design and layout
T09 - Parking Standards
T10 - Highway Considerations in Development
T11 - Facilities for pedestrians and cyclists
T12 - Designing for people with disabilities

Status of Adopted Local Plan (1998) (ADP98)

A number of policies within the Plan have now been held to be 'out-of-date' as a result of recent planning appeal decisions on the basis of Inspectors declaring them to be inconsistent with the NPPF [2019]. On this basis the tilted balance required by paragraph 11 of the NPPF may need to be brought into play but this will need to be tempered against the Adopted Development Plan where and if relevant policies remain valid and continue to attract significant weight as material planning considerations dependent upon their consistency with the NPPF. This cannot, however, supplant the statutory duty to take decisions in accordance with the development plan unless such considerations indicate otherwise.

Draft Joint Local Plan Preferred Options Document 2019(DLPPOD19)

This emerging local plan remains at an early stage and as a result attracts limited weight as a material planning consideration. It is the latest expression of the Council's current preferred direction of travel in terms of its future planning strategy and policies but could however be subject to change as the local plan process advances. It is however relevant to note the emphasis on the direction of growth to the A14 corridor and this report will amongst other things refer to emerging policy SP05.

The National Planning Policy Framework (NPPF)

The National Planning Policy Framework (NPPF) 2019 contains the Government's planning policies for England and sets out how these are expected to be applied. Planning law continues to require that applications for planning permission are determined in accordance with the development plan unless material considerations indicate otherwise. The policies contained within the NPPF are a material consideration and should be taken into account for decision-taking purposes.

Particularly relevant elements of the NPPF include:

Section 2: Achieving Sustainable Development
Section 4: Decision Making
Section 6: Building a Strong, Competitive Economy
Section 12: Achieving Well-Designed Places
Section 15: Conserving and Enhancing the Natural Environment

The National Planning Practice Guidance (NPPG)

The National Planning Practice Guidance (NPPG) provides guidance and advice on procedure rather than explicit policy; however, it has been taken into account in reaching the recommendation made on this application.

Other Considerations

- Ipswich Policy Area

- Suffolk County Council- Suffolk's Guidance for Parking (2014 updated 2019)
- BMSDC Open for Business Strategy
- Grow on Space Supply and Demand Analysis (October 2019)

Neighbourhood Plan Status

This application site is not within a Neighbourhood Plan Area however the site is situated in close proximity to the neighbouring Parish of Sproughton. Sproughton is currently in the process of preparing their Neighbourhood Development Plan and whilst it does not cover Gt Blakenham the application site is adjacent to the defined Sproughton Neighbourhood Plan Area. Sproughton has within its boundary a Designated Enterprise Area and reference will be made to the relevance of this to the application at hand in this report.

Consultations and Representations

During the course of the application Consultation and Representations from third parties have been received. These are summarised below.

A: Summary of Consultations

Town/Parish Council (Appendix 3)

Great Blakenham Parish Council The Council is very concerned about the following:

[it is noted that the Parish Council does not specifically object]

- The number and variety of trees that are due to be removed, especially as the southern boundary of the site has an attractive wooded area through which a footpath runs.

Officer comment:

The Agent has amended the scheme in conjunction with formal comments received from Place Services – Landscaping to ensure that the development does not result in an excessive loss of trees. A buffer is proposed along the southern boundary of the site.

- There are no details given of the height of the buildings or their elevation against the hill on the western edge of the site.

Officer comment:

The application is for outline only with access to be considered and all other matters reserved and therefore detailed design such as heights are not for consideration at this stage, however, the Agent has submitted an indicative layout plan which suggests the ridge heights to be 50.5m. This report will explore the question of appropriate building height in the context of recently erected and approved buildings within the immediate vicinity a little later in this report

- The high probability of twenty-four hour operation at the site which will bring light and noise pollution.

Officer comment:

Whilst it is acknowledged that some units [if approved] might operate on a 24 hour basis officers do not consider this will be a threat to amenity given the existing nature of the adjacent premises and that the nearest properties are at least 80metres away to the southeast. It is suggested that Unit 9 is controlled by condition in terms of opening hours in order to safeguard residential amenity in this part of the site. In addition, there will be ample screening, together with noise attenuation basins. The site context should also be taken into consideration given the existing businesses adjacent to the site and SnOasis to the north.

The Council's Environmental Health Team have been consulted and have no objection to the proposal subject to conditions. These conditions are recommended to mitigate the potential noise and/or light nuisance including a noise assessment to be submitted and the hours of construction to be limited to specific time periods.

The comments from the Parish Council are noted in respects to light spillage and technology is such that pollution such as skyglow can now be avoided.

It is however prudent to condition lighting details to ensure the concerns expressed by the Parish Council do not become a reality.

- It should be noted that the site is close to the Little Blakenham bat roost and further light pollution will have negative impact on the bat colony.

Officer comment:

Whilst it is acknowledged that there will be some disturbance to bat roosting, the Agent has undertaken and submitted sufficient surveys in order to establish the potential areas for bat roost however no evidence of bat usage and no signs of bats were found. As such, subject to suitable conditions in relation to biodiversity mitigation, compensation and enhancement. The proposal is not considered to have a detrimental impact from an ecology and more specifically bat stand point.

- This development will only increase the risk of flooding on the B1113, a problem which has been well documented and is now a major hazard on the road during periods of heavy rain.
- Traffic - the Council does not feel that there is enough clarity about the access on to and off the site on to the B1113. This road is already overloaded with traffic, which continues to grow as more industrial units and houses are built along both sides. The Council have repeatedly asked for a lower speed limit along the B1113 from the Suez site up to the Hackneys Corner junction as both the number of vehicles using the road and the number of junctions on to it continue to increase.
- The Council wants to put on record yet again that it is essential that a new traffic assessment is carried out before any more development (including this one) is approved and that this new assessment takes account of both recent and possible future developments (e.g. SnOasis).

Officer Comment:

With regards to the increase in traffic SCC Highways Authority has provided their comments and are content with the proposed scheme and Members are advised that additional information was provided at the behest of SCC Highways,. The new access would be created to ensure that HGV vehicles were directed away from the B1113 and onto the A14 at all times.

Phasing of improvements will need to be managed carefully (via conditions) to ensure that the overall raft of highway improvements in the locality arising in large part from the SnOasis development will be coordinated to avoid unnecessary disruption and abortive engineering works.

Little Blakenham Parish Council

“Little Blakenham Councillors discussed this application and unanimously object to it in its current form for the following reasons:

The Council is extremely concerned about the height and scale of the buildings, especially as the site is on an upward slope from the B1113. The Council notes that there appear to be no drawings of the elevation of the building against the contour lines of the land and feels that it is impossible to understand how this will look from The Common without further detailed information. It is essential that further information and clarification is obtained from the developer before any decision is made, even if this means delaying any decision on the application. The Council is aware that part of the land was the subject of another planning application where height restrictions were put in place and believe that similar restrictions should be in place if this application is approved to prevent the buildings towering over the local area. Construction of the 20-metre high warehouse type buildings on an already elevated site, to the edge of the allocated site is not in the public interests and intends only to maximise floorspace without consideration of the locality. Elsewhere in the district, building of this scale are appropriately offset by being designed into low lying sites, to reduce their visual impact.

Traffic concerns - apart from staff driving to and from the site, there are an extremely high number of lorry parking areas and lorry movements per hour listed in the application. This will result in a huge increase in traffic on the B1113, a road which is already over capacity with long delays at rush hour. Additionally the entrance to the site will be close to the Suez incinerator entrance and close to the traffic lights beside the incinerator and adding yet another junction to a short stretch of the B1113 between the Suez junction and Hackneys Corner which increases the risk of accidents as more and more vehicles are attempting to turn in and out. This, of course, is additional to the massive increase in traffic that would be produced by any development on the SnOasis site.

Tree loss – the application involves the removal of many well-established trees and there is no indication that there will be sufficient replacements in that area of the site to offset this. The removal of a substantial amount of vegetation will further reduced the screening provided. In addition, vegetation is transient and beyond a five-year landscape condition the District Council cannot control the screening measures of the site. The Parish Council disagree with the assessment of the Landscape Officer, that the impact will be only to the immediate area. Wider vistas of this area are achieved from many points further afield.

Finally, the Council feels that a further development of this size and scale will mean that Port One would become a major business park and that the whole application needs to be thoroughly reassessed and further information must be obtained from the developer on these areas of concern before any decision is made.

It should be noted that the Parish Council were in support of the original application that provided a combination of unit sizes, however also respected the existing character of development AND worked with the site constraints, including site elevations and existing vegetation.

The implications of the Covid-19 pandemic are anticipated to result in an economic downturn, and the economic benefit of development in the area is noted, however it should not be ‘development at any cost’. The proposal does not provide a satisfactory alternative to that originally approved.”

Officer Comment: Please note Officer comments in respect of Great Blakenham Parish Council's comments where there is cross over.

The Agent has amended the scheme in conjunction with formal comments received from Place Services – Landscaping to ensure that the development does not result in an excessive loss of trees. A buffer is proposed along the southern boundary of the site. The application is for outline only with access to be considered and all other matters reserved and therefore detailed design such as heights are not for consideration at this stage, however, the Agent has submitted an indicative layout plan which suggests the ridge heights to be 50.5m. With regards to the increase in traffic SCC Highways Authority have provided their comments and are content with the proposed scheme. The new access would be created to ensure that HGV vehicles were directed away from the B1113 and onto the A14 at all times.

Claydon Parish Council

Parish Councillors do not have a comment on this development

National Consultee (Appendix 4)

Highways England - 26 June

No objection

Natural England

Natural England's initial screening of this planning application has identified that the proposed development has the potential to adversely affect a Site of Special Scientific Interest (SSSI)¹ designated for hibernating or breeding bats i.e. the relevant Impact Risk Zones have been triggered. As protected species bats are capable of being a material consideration in the determination of planning applications, in this case they form the notified interest of an SSSI and therefore it is section 28i of the Wildlife & Countryside Act 1981 (as amended) that is the relevant legislation in this case (i.e. for proposals with the potential to affect an SSSI).

Historic England

On the basis of the information available to date, we do not wish to offer any comments. We suggest that you seek the views of your specialist conservation and archaeological advisers, as relevant. It is not necessary for us to be consulted on this application again, unless there are material changes to the proposals. However, if you would like detailed advice from us, please contact us to explain your request.

County Council Responses (Appendix 5)

SCC - Highways

"In response to the revised Flood Risk Assessment received on 21/08/20, County Council as Highway Authority make the following comments:

The Stage 1 Road Safety Audit report dated 07/08/20 highlights a number of minor problems with the proposal where the designer has commented these items will be considered during detailed design. This approach is acceptable. With the proposed mitigation and contributions for highway improvements, we consider the proposal would not have an adverse impact on the public highway with regard to congestion, safety or parking. Therefore, the County Council as Highways Authority, does not wish to restrict the grant of permission."

With regards to the proposed development SCC Highways make the following comments:

“We have reviewed the Technical Note 02 recently supplied with this application, the summary of our findings are as follows:

The Suffolk County Transport Model (SCTM) has been used to assess the car and HGV traffic distribution to and from the development during the AM and PM peak hours with the Snoasis development traffic flows included in the model. Addison Way/Bramford Road junction, B1113/Bramford Road signal junction and the A14 Claydon Interchange roundabout all operate within capacity.

The site access operated above capacity during the peak hour periods therefore there is a proposal to introduce a signalised junction so the junction operates with spare capacity.

We note that the parish council have requested a reduced speed limit (30mph) to be introduced on Bramford Road. We consulted the Traffic Management Officer from the Police who has indicated that the existing speed limit, 40mph, is appropriate for the surroundings and the police would not support a lower speed limit here as it is unlikely to be followed without further traffic calming measures being introduced.

With the proposed mitigation and contributions for highway improvements, we consider the proposal would not have an adverse impact on the public highway with regard to congestion, safety or parking. Therefore, the County Council as Highways Authority, does not wish to restrict the grant of permission.

CONDITIONS

Should the Planning Authority be minded to grant planning approval the Highway Authority in Suffolk would recommend they include the following conditions and obligations:

Highway Mitigation Condition - detailed design of the mitigation measures on The Site Access/Bramford Road junction as indicated on Drawing No 1970/04C are to be submitted and approved by the highway authority. The approved scheme shall be laid out, constructed and made functionally available for use prior to occupation and thereafter retained in the approved form for the lifetime of the development. Reason: To ensure that suitable highway improvements and mitigation measures are provided.

Footway Condition: The footway/cycleway to be provided in its entirety before the development is brought into use as indicated on Drawing No 1970/04C. Reason: To ensure that suitable footways are provided to access the application site and to connect the sites with public rights of way and footway network.

Construction Condition: Before the development hereby permitted is commenced a Construction Management Plan shall have been submitted to and approved in writing by the Local Planning Authority. Construction of the development shall not be carried out other than in accordance with the approved plan. The Construction Management Plan shall include the following matters:

- haul routes for construction traffic on the highway network and monitoring and review mechanisms.
- provision of boundary hoarding and lighting
- details of proposed means of dust suppression
- details of measures to prevent mud from vehicles leaving the site during construction
- details of deliveries times to the site during construction phase
 - details of provision to ensure pedestrian and cycle safety
- programme of works (including measures for traffic management and operating hours)
- parking and turning for vehicles of site personnel, operatives and visitors
- loading and unloading of plant and materials
- storage of plant and materials
- maintain a register of complaints and record of actions taken to deal with such complaints at the site office as specified in the Plan throughout the period of occupation of the site. Reason: In the interest of

highway safety to avoid the hazard caused by mud on the highway and to ensure minimal adverse impact on the public highway during the construction phase.

P 2 - Condition: Before the development is commenced, details of secure covered cycle storage shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be in accordance with Suffolk Parking Guidance 2019 and carried out in its entirety before the development is brought into use and shall be retained thereafter and used for no other purpose. Reason: To promote the use of sustainable travelling alternatives within the area.

NOTES

The works within the public highway will be required to be designed and constructed in accordance with the County Council's specification. The applicant will also be required to enter into a legal agreement under the provisions of Section 278 of the Highways Act 1980 relating to the construction and subsequent adoption of the highway improvements. Amongst other things the Agreement will cover the specification of the highway works, safety audit procedures, construction and supervision and inspection of the works, bonding arrangements, indemnity of the County Council regarding noise insulation and land compensation claims, commuted sums, and changes to the existing street lighting and signing."

SCC - Development Contributions Manager,

"I have no comments to make on this application, but I have copied to colleagues who deal with highways, floods planning, and archaeological matters as they will have comments to make."

Suffolk Police - Design Out Crime Officers

"It is noted that this is an outline planning application and more in-depth details will follow through further proposals, as a result it is hard to make specific in-depth comments. It is recommended that the development seeks to achieve Secured by Design SBD Commercial certification at www.securedbydesign.com and at SBD commercial 2015 Version 2, as per this link. [http://www.securedbydesign.com/wp-content/uploads/2015/05/SBD Commercial 2015 V2.pdf](http://www.securedbydesign.com/wp-content/uploads/2015/05/SBD%20Commercial%202015%20V2.pdf)

Secured by Design (SBD) is an initiative based upon principles of "designing out crime" incorporating the latest security standards to address emerging criminal methods of attack. SBD has been proven to reduce the opportunity for crime and the fear of crime, creating safer, more secure and sustainable environments. General advice around commercial business security can also be found on the Secured by Design Website through this link: <http://www.securedbydesign.com/crime-prevention-advice/secure-your-business/> I would be very pleased to work with the agent and/or the developer to ensure the proposed development incorporates the required elements. This is the most efficient way to proceed with commercial developments and is a partnership approach to reduce the opportunity for crime and the fear of crime."

SCC - Fire & Rescue

Hydrants are required for this development

"Access and Fire Fighting Facilities

Access to buildings for fire appliances and firefighters must meet with the requirements specified in Building Regulations Approved Document B, (Fire Safety), 2006 Edition, incorporating 2010 and 2013 amendments Volume 1 - Part B5, Section 11 dwelling houses, and, similarly, Volume 2, Part B5, Sections 16 and 17 in the case of buildings other than dwelling houses. These requirements may be satisfied with other equivalent standards relating to access for fire fighting, in which case those standards should be quoted in correspondence.

Suffolk Fire and Rescue Service also requires a minimum carrying capacity for hard standing for pumping/high reach appliances of 15/26 tonnes, not 12.5 tonnes as detailed in the Building Regulations 2000 Approved Document B, 2006 Edition, incorporating 2010 and 2013 amendments.

Water Supplies

Suffolk Fire and Rescue Service recommends that fire hydrants be installed within this development on a suitable route for laying hose, i.e. avoiding obstructions. However, it is not possible, at this time, to determine the number of fire hydrants required for fire fighting purposes. The requirement will be determined at the water planning stage when site plans have been submitted by the water companies. Sprinklers Advised Suffolk Fire and Rescue Service recommends that proper consideration be given to the potential life safety, economic, environmental and social benefits derived from the provision of an automatic fire sprinkler system. (Please see sprinkler information enclosed with this letter).

Consultation should be made with the Water Authorities to determine flow rates in all cases. Should you need any further advice or information on access and fire fighting facilities, you are advised to contact your local Building Control in the first instance.

For further advice and information regarding water supplies, please contact the Water Officer at the above headquarters.”

SCC - Archaeological Service

“This site lies in an area of archaeological potential recorded on the County Historic Environment Record, in close proximity to a number of known heritage assets, a geophysical survey of the development area has identified a number of geophysical anomalies of archaeological significance (BLL 023), immediately to the north archaeological evaluation and excavation identified prehistoric and Roman features and finds (BLG 036) and immediately to the south archaeological evaluation has identified Neolithic and Iron age pits and Roman and medieval field systems (BRF 106). As a result, there is high potential for the discovery of below-ground heritage assets of archaeological importance within this area, and groundworks associated with the development have the potential to damage or destroy any archaeological remains which exist. There are no grounds to consider refusal of permission in order to achieve preservation in situ of any important heritage assets. However, in accordance with the National Planning Policy Framework (Paragraph 199), any permission granted should be the subject of a planning condition to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed.

In this case the following two conditions would be appropriate:

1. No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation which has been submitted to and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording
- b. The programme for post investigation assessment
- c. Provision to be made for analysis of the site investigation and recording
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation
- e. Provision to be made for archive deposition of the analysis and records of the site investigation
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

2. No building shall be occupied until the site investigation and post investigation assessment has been completed, submitted to and approved in writing by the Local Planning Authority, in accordance with the

programme set out in the Written Scheme of Investigation approved under Condition 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

REASON: To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2018).

INFORMATIVE:

The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team. I would be pleased to offer guidance on the archaeological work required and, in our role as advisor to Mid Suffolk District Council, the Conservation Team of SCC Archaeological Service will, on request of the applicant, provide a specification for the archaeological mitigation.

In this case, an archaeological evaluation will be required to establish the potential of the site and decisions on the need for any further investigation (excavation before any groundworks commence and/or monitoring during groundworks) will be made on the basis of the results of the evaluation. Further details on our advisory services and charges can be found on our website: <http://www.suffolk.gov.uk/archaeology/> .”

SCC Floods & Water 9 September 2020

“I have reviewed the following documents and would advise you the surface water drainage proposals remain unacceptable however, bearing in mind the layout and site levels will be reserved matters, I am prepared to remove my holding objection so long as the conditions outlined below are attached to any permission.

- JMS Technical Note dated 18th September 2020
- Flood Risk Assessment (FRA) and SUDs Strategy dated 14/8/2020 including appendices

This is because:

The SW drainage proposals fail to demonstrate the drainage proposals comply with national standards. The development is therefore at risk of increasing flooding off site and pollution of ground water – which is used for drinking water. Insufficient appropriate information has been submitted. The vulnerability of ground water is high. Water pollution risks associated with proposed service yards is high.

Longitudinal sections along the proposed drainage system have not been submitted as requested. This is a normal requirement as outlined on our guidance and is routine practise for drainage design. Due to the variable nature of the subsoil (ranging from clay and sandy materials to chalk, and large depths of proposed cut and fill) I requested these should also show the proposed drainage features (pipe runs and soakaways) interface with: the expected soil strata, the existing and final ground levels, test pits and boreholes, showing how the design soakage rates are derived for the particular depth of each soakaway feature.

The revised FRA includes a review of ground investigations, interpolating soil variations between various trial pits and boreholes as presented in Appendix B – These are discussed in the report and para (2.020) appears to conclude that it is expected that the upper layers of the sandy strata would have a soakage rate of 6.1×10^{-6} m/s . (21mm/hr). But this does not seem to be used for design. A clearer conclusion is required, or more testing.

In particular, for plot 6 the design rate (75mm/Hr) used, appears to be too high. The cross section in the technical note shows the test result is relevant to strata well above the proposed soakaways.

The depths of the proposed piped drainage system upstream of the plot 6 (levels shown in the model data) are too shallow, -with insufficient cover, but the base of the soakaway is only just over 1m above the chalk level shown in a nearby borehole and so should not be lowered. – The base needs to be well above the chalk to help protect ground water from pollution. The design needs to take account of possible variations in chalk level.

In addition para 6.2.2 of the FRA proposed filter drains (trenches) within plot 6. These would need to be at a greater depth to provide the required water treatment (SUDS Manual para 15.5) and protect the pipes within them from damage.

So it would appear **the final ground levels would need to be higher at plot 6 and probably 7 and 8**
Para 6.2.2 states the service yard and access road for plot 6 would drain to a filter strip and then to the pipe network. However the filter strip width hasn't been designed -see SUDS manual 15.5 and this is likely to take up a considerable area.

Para 6.2.3 of the FRA states the final discharge would be to "*narrow crated soakaway, like the strategy set out in the extant planning permission*" (for plots 2 and 4). However the proposed design for plots 4 and 2 uses open basins with narrow sand filled trenches beneath. Treatment is provided by the vegetated basin, the topsoil and the sand fill. These are relatively easier to maintain from the surface than buried "crates".

The proposals put forward in 6.2.2. and 6.2.3 are unacceptable. They do not provide adequate treatment and would be difficult to maintain.

Similar issues exist with the depths for pipes serving plot 5. Indeed the overflow pipe to the south west basin (mentioned in the FRA para 6.15) would be above existing ground levels unless the ground is raised in an area with existing trees.

Para 6.15 describes the South West basin as an "infiltration basin", however this is shown to be raised above existing ground levels, built on fill. Infiltration into fill is not normally allowed (BRE 365, SUDS Manual and SCC SUDS Guidance), indeed the surrounding embankment will need to be impermeable for it to be stable.

The proposals for draining plot 9 into soakaways within fill are unacceptable. The soakage rate assumed for this design (40mm/Hr) was the test result from test pit 05/6 however a short distance away the test value was 5mm/hr (too low). If infiltration type SUDS are to be sited in this area then the design rate should be lower than 40mm/hr informed by the review referred to above. Further soakage tests may be needed along the line of the swale or proposed soakaway as described in BRE365 or the SuDS Manual.

Appendix J of the FRA – Simple Index Assessment – is unacceptable as the sole proposal for treatment. The assessment should be used to determine what forms of SuDS can be used in sequence to provide the required treatment for the anticipated pollution hazards. It is not clear what drainage systems the various sheets refer to. "Proprietary treatment systems" are put forward, but they should only be used in exceptional circumstances.

Further design of each component is required to ensure they each provide the appropriate level of treatment- as per the SUDS Manual

Half emptying times for the drainage need to be checked assuming no FOS (i.e. 1) for the critical 10 year RP storms.

Design calculations for 100 and 30 year Return period events will be needed.

Phasing may be an issue since the current proposals are to drain plots 7 and 8 into plot 6 with an overflow to a new basin sited just south of plot 4.

There may be other issues.

The design so far is preliminary /indicative and more details will eventually be required. It is understood that the layout, levels and appearance and development areas are not fixed by the grant of an outline permission. These will be subject of conditions/reserved matters. However it is important that levels and layout matters/conditions are not cleared before drainage, since as illustrated above, the layout and levels will be informed by the drainage FRA/Strategy which needs to be improved.

Draft Conditions.

Based on SCC standard Outline Application February 2020 version

1. Concurrent with the first reserved matters application(s) a surface water drainage strategy for plots 5-9 shall be submitted to, and approved in writing by, the local planning authority.
2. No development shall take place within any particular area or phase of the development until details of a surface water drainage scheme for that plot/ phase, have been submitted to and approved in writing by the local planning authority

The scheme shall be in accordance with the approved strategy and shall include:

- a) Dimensioned plans and drawings of the surface water drainage scheme;
- b) Modelling of the surface water drainage scheme to show that the attenuation/infiltration features will contain the 1 in 100 year rainfall event including climate change;
- c) Modelling of the surface water conveyance network in the 1 in 30 year rainfall event to show no above ground flooding, and modelling of the volumes of any above ground flooding from the pipe network in a 1 in 100 year climate change rainfall event, along with topographic plans showing where the water will flow and be stored to ensure no flooding of buildings or offsite flows;
- d) Topographical plans depicting all exceedance flow paths and demonstration that the flows would not flood buildings or flow offsite, and if they are to be directed to the surface water drainage system then the potential additional rates and volumes of surface water must be included within the modelling of the surface water system;
- e) Details of a Construction Surface Water Management Plan (CSWMP) detailing how surface water and storm water will be managed on the site during construction (including demolition and site clearance operations) is submitted to and agreed in writing by the local planning authority. The CSWMP shall be implemented and thereafter managed and maintained in accordance with the approved plan for the duration of construction. The approved CSWMP and shall include:
 - i) Method statements, scaled and dimensioned plans and drawings detailing surface water management proposals to include:-
 - 1) Temporary drainage systems
 - 2) Measures for managing pollution / water quality and protecting controlled waters and watercourses
 - 3) Measures for managing any on or offsite flood risk associated with construction

- f) Details of the maintenance and management of the surface water drainage scheme shall be submitted to and approved in writing by the local planning authority.

The scheme shall be fully implemented as approved.

Reasons: To prevent flooding by ensuring the satisfactory storage and disposal of surface water from the site for the lifetime of the development. To ensure the development does not cause increased flood risk, or pollution of watercourses or groundwater. To ensure clear arrangements are in place for ongoing operation and maintenance of the disposal of surface water drainage.

<https://www.suffolk.gov.uk/roads-and-transport/flooding-and-drainage/guidance-on-development-and-flood-risk/construction-surface-water-management-plan/>

3. Within 28 days of completion of the last dwelling/building become erected details of all Sustainable Drainage System components and piped networks have been submitted, in an approved form, to and approved in writing by the Local Planning Authority for inclusion on the Lead Local Flood Authority's Flood Risk Asset Register.

Reason: To ensure that the Sustainable Drainage System has been implemented as permitted and that all flood risk assets and their owners are recorded onto the LLFA's statutory flood risk asset register as per s21 of the Flood and Water Management Act 2010 in order to enable the proper management of flood risk with the county of Suffolk

<https://www.suffolk.gov.uk/roads-and-transport/flooding-and-drainage/flood-risk-asset-register/>

Internal Consultee Responses (Appendix 6)

Environmental Health - Sustainability Issues

"I have no objection to the application and should the Planning Dept approve it I would suggest the following condition.

Prior to the commencement of development a scheme for the provision and implementation of water, energy and resource efficiency measures, during the construction and operational phases of the development shall be submitted to and approved, in writing, by the Local Planning Authority. The scheme shall include a clear timetable for the implementation of the measures in relation to the construction and occupancy of the development. The scheme shall be constructed and the measures provided and made available for use in accordance with such timetable as may be agreed. The Sustainability & Energy Strategy must be provided detailing how the development will minimise the environmental impact during construction and occupation (as per policy CS3, and NPPF) including details on environmentally friendly materials, construction techniques minimisation of carbon emissions and running costs and reduced use of potable water (suggested maximum of 105ltr per person per day). Details as to the provision for electric vehicles should also be included please see the Suffolk Guidance for Parking, published on the SCC website on the link below: <https://www.suffolk.gov.uk/planning-waste-and-environment/planning-and-developmentadvice/parking-guidance/> The document should clearly set out the unqualified commitments the applicant is willing to undertake on the topics of energy and water conservation, CO2 reduction, resource conservation, use of sustainable materials and provision for electric vehicles. Clear commitments and minimum standards should be declared and phrases such as 'where possible, subject to, where feasible' must not be used. Evidence should be included where appropriate demonstrating the applicants

previous good work and standards achieved in areas such as site waste management, eg what recycling rate has the applicant achieved in recent projects to show that their % recycling rate commitment is likely.

Reason – To enhance the sustainability of the development through better use of water, energy and resources. This condition is required to be agreed prior to the commencement of any development as any construction process, including site preparation, has the potential to include energy and resource efficiency measures that may improve or reduce harm to the environment and result in wider public benefit in accordance with the NPPF. Guidance can be found at the following locations: <https://www.midsuffolk.gov.uk/environment/environmental-management/planning-requirements/>

Public Realm

“Public Realm do not wish to offer any comments on this planning application”

Heritage Team

“I do not wish to offer comment on this application.”

Economic Development & Tourism

No objection

“This application contains land that is a natural extension to the existing Port One Business Park which is currently under construction and the application also deals with the masterplanning and phased development of land included in pp 2351/16. The location near to junction 52 of the A45 and close to the Copdock interchange with the A12 makes it attractive to Port-Centric logistics and also for regional manufacturing and distribution operations and therefore it is a strategic employment site for the district. The increase in size of the Business Park will help to support future economic growth in the Ipswich Fringe Area. The expanded site would also support up to 675 FTE new jobs for the district. The height and scale of the proposed buildings on the site reflects the demand for larger sized premises, especially to support the latest high tech logistics & distribution operations as well as the industrial nature of existing surrounding commercial activities. This is land that can be developed and brought to the market relatively quickly to help support future recovery and growth for both the local and regional economy. I, therefore, support the application.”

Officer comment: *Members will have noted the concerns expressed by the Parish Council about the perceived impacts of the development. However, Members will note the strong support given by the Economic Development Team to this development.*

Again, Members will note that the Parish Council raised concerns with regards to the height and size of the proposed premises however as noted in Economic Development Team’s response the height and scale reflect the demand for larger sized premises. This will compliment the Council’s Open for Business Strategy (2018) which looks to support all sectors of the economy from start-up (incubator), grow-on right through to relocation of major companies bringing in inward investment.

Officers suggest that when exercising their planning balance Members give significant weight to the economic benefits (including job creation) that this development will deliver.

Environmental Health - Noise/Odour/Light/Smoke

Thank you for consulting me on the above outline application for the extension to Port One Business and Logistics Park. I understand from the application form, this extension will be for B8 use with hours of operation to include day and night time operation, 7 days a week. In support of the application, I note the noise impact assessment submitted by Sharps Redmore Acoustic Consultants. This assessment comprises a background noise survey and assessment of likely levels of operational noise using BS 4142 “Method for Rating and Assessing Industrial and Commercial Sound”. The impact assessment is made

with particular reference to unit 9 of the development. This unit is nearest to residential premises. The report concludes that with suitable noise mitigation measures for external plant and loading/unloading activities (such as a noise barrier), the site is suitable for use.

I concur with this view and confirm in respect of noise and 'other' environmental health issues that I do not have any objection to the proposed development.

However until the final use and operation is known, it is not possible to advise further on the extent and degree of these mitigation measures (if any). I would, therefore, require further information at the detailed application stage and recommend the following conditions should approval be granted:

1) Prior to the occupation of unit 9, the applicant is required to submit an assessment carried out in accordance with BS 4142 to show that noise from machinery and equipment, including any external ventilation or refrigeration equipment and external noise from delivery vehicles including loading, will not have an adverse impact on occupiers of any noise sensitive premises. The assessment shall include details of any mitigation measures to be implemented, for the approval of the Local Planning Authority.

I would also recommend appropriate conditions to mitigate against adverse impacts from lighting and noise during construction commensurate with approval ref 2351/16, as follow:

2) No means of external lighting shall be installed or attached to the commercial units except in accordance with details of an illumination scheme (to include luminaire types, position, height, aiming points, lighting levels and a polar illuminance diagram, based on the vertical plane to reflect impact on surrounding residents) which shall have been submitted to and approved in writing by the Local Planning Authority and shall be implemented and retained as approved.

3) The working hours during construction shall be restricted to 0730 hrs to 1800 hrs Mondays to Fridays and 0800 hrs and 1300 hrs on Saturdays. There shall be no working hours on Sundays or Bank Holidays.

Reason: To protect the occupiers of the neighbouring residential properties suffering loss of amenity or nuisance.

Ecology 1 October 2020

"No objection subject to securing biodiversity mitigation, compensation and enhancements.

Summary

We have reviewed the recently updated Tree (Bat) Roost Assessment Rev 3 (Abrehart Ecology Ltd, 24 Sept 2020). This report now includes the results of further aerial inspection of potential roost features in all trees assessed as having moderate & high suitability for bats which will be directly impacted by the development. As this recent survey found no evidence of bat usage and no signs of bats were found in any of the features explored, this now provides certainty of likely impacts to bats (European Protected Species). We welcome the statement that any trees to be impacted by works will be subject to further assessment before felling or remedial works and recommend that this is secured by a condition of any consent. This could include soft felling, climb and inspect surveys, or emergence/return to roost surveys.

The above report is in addition to submitted documents - Preliminary Ecological Appraisal – Port One St James' Park (January 2019), the Preliminary Ecological Appraisal – Port One Business Park (January 2020), Badger (*Meles meles*) Survey Report (June 2020), Great Crested Newt (*Triturus cristatus*) Survey Report (August 2020), Great Crested Newt (*Triturus cristatus*) Outline Mitigation Strategy (August 2020), the Phase 3 - Reptile Survey Report- Rev A (August 2020) and the Phase 3 & 4 - Bat Survey Assessment – Rev B (August 2020) - undertaken by Abrehart Ecology Ltd on behalf of the applicant - should be secured

and implemented in full. This is necessary to conserve and enhance Protected and Priority Species particularly Gt crested newts, badgers and bats.

We are now satisfied that there is sufficient ecological information on protected species to provide certainty to the LPA of likely impacts and that mitigation can be secured either by a condition of any consent or a mitigation licence from Natural England.

The letter from Abrehart Ecology Ltd (24 Sept 2020) relating to the Tree (Bat) Roost Assessment confirms that planned mitigation for the overall Phased development includes sensitive lighting along retained and created commuting corridors. This will minimise risk of disturbance to bats roosting within retained trees or commuting across the local landscape from the nearby SSSI. Furthermore, bat boxes will be installed on retained trees and a dedicated 'bat house' will be created within wildlife areas. These are proposed to not only offset any loss of roosting opportunities, but to enhance roosting opportunities for bats in the local area – particularly through the increase in hibernating potential. We recommend that these mitigation measures are secured by a condition of any consent.

We note that the further Great Crested Newt (*Triturus cristatus*) Outline Mitigation Strategy (August 2020), demonstrates how mitigation and compensation measures will be delivered for the excellent population of Great Crested Newts contained within the site. As a result, we are satisfied that the LPA will have regard to Conservation of Habitats and Species Regulations 2017 (as amended) when issuing a decision for this European Protected Species, by having certainty that an European Protected Species Mitigation (EPSM) licence will likely be granted for this application. This EPSM Licence will need to be secured as a prior to commencement condition if this application is approved.

We are also satisfied with the further clarification provided to indicate why the reptile survey areas (A & B) are small in size in comparison to the wider site. Therefore, we recommend that a Construction Environmental Management Plan (CEMP: Biodiversity) will need to be secured as a condition of any consent for discharge prior to commencement, which contains the finalised Reptile Mitigation Strategy for this application.

We note that a Bat Activity Survey was completed on the western boundary in 2016 for the granted application (2351/16) and it is accepted that minimal activity was noted. In addition, we note that further bat activity surveys have now been completed, which consist of Transect Surveys, a stationary survey of the Lagoon, as well as several static detectors surveys. These surveys specifically focus on Natterers and Daubentons bats, to determine the extent of the impacts of the qualifying features of the Little Blakenham Pit Site of Special Scientific Interest's (SSSI). These activity surveys carried out in 2017 and 2020 found low numbers of bats using this tree line. The timings of bat activity and species recorded indicated that individual pipistrelles (likely males) were using the tree line, possibly for roosting. These surveys indicate a likely absence of roosts of high conservation interest, such as maternity roosts.

It is recommended that information on a wildlife sensitive lighting design scheme should be provided in line with the Guidance note 8 - Bats and artificial lighting in the UK (ILP, 2018). This should provide recommendations to avoid adverse impacts from lighting to bats and at a minimum provide locations of where lighting should avoid impacts on key habitats. This should be secured by a condition of any consent.

We also support the proposed reasonable biodiversity enhancements as contained in the above submitted Abrehart Ecology reports, which have been recommended to secure measurable net gains for biodiversity, as outlined under Paragraph 170d of the National Planning Policy Framework 2019. The reasonable biodiversity enhancement measures should be outlined within a Biodiversity Enhancement Layout for each phase of development and should be secured prior to slab level. It is recommended that this should include provision of measures within the built and natural elements of each phase of the development.

This information will enable the LPA to demonstrate compliance with its statutory duties, including its biodiversity duty under s40 NERC Act 2006.

Impacts will be minimised such that the proposal is acceptable subject to the conditions below based on BS42020:2013. In terms of biodiversity net gain, the enhancements proposed will contribute to this aim. Submission for approval and implementation of the details below should be a condition of any planning consent:

Recommended conditions

1. CONCURRENT WITH RESERVED MATTERS FOR EACH PHASE: ACTION REQUIRED IN ACCORDANCE WITH ECOLOGICAL APPRAISALS RECOMMENDATIONS

“All ecological mitigation & enhancement measures and/or works shall be carried out in accordance with the details contained in the- Preliminary Ecological Appraisal – Port One St James’ Park (January 2019), the Preliminary Ecological Appraisal – Port One Business Park (January 2020), Badger (Meles meles) Survey Report (June 2020), Great Crested Newt (Triturus cristatus) Survey Report (August 2020), Great Crested Newt (Triturus cristatus) Outline Mitigation Strategy (August 2020), the Phase 3 - Reptile Survey Report- Rev A (August 2020) and the Phase 3 & 4 - Bat Survey Assessment – Rev B (August 2020) and Tree (Bat) Roost Assessment Rev 3 (September 2020) - all undertaken by Abrehart Ecology Ltd as already submitted with the planning application and agreed in principle with the local planning authority prior to determination.

This may include the appointment of an appropriately competent person e.g. an ecological clerk of works (ECoW,) to provide on-site ecological expertise during construction. The appointed person shall undertake all activities, and works shall be carried out, in accordance with the approved details.”

Reason: To conserve and enhance protected and Priority species and allow the LPA to discharge its duties under the UK Habitats Regulations, the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species) and s17 Crime & Disorder Act 1998.

2. CONCURRENT WITH RESERVED MATTERS: PRIOR TO COMMENCEMENT: SUBMISSION OF A COPY OF NATURAL ENGLAND MITIGATION LICENCE FOR GREAT CRESTED NEWT

“The proposals shall not in in any circumstances commence unless the local planning authority has been provided with either:

- a) a licence issued by Natural England pursuant to Regulation 55 of The Conservation of Habitats and Species Regulations 2017 (as amended) authorizing the specified activity/development to go ahead; or*
- b) a certificate to confirm site registration under the GCN District Level Licence countersigned by Natural England; or*
- c) a statement in writing from the relevant licensing body to the effect that it does not consider that the specified activity/development will require a licence.”*

Reason: To conserve protected and Priority species and allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 and s17 Crime & Disorder Act 1998.

3. CONCURRENT WITH RESERVED MATTERS: PRIOR TO COMMENCEMENT: SUBMISSION OF A COPY OF THE MITIGATION LICENCE FOR BADGERS

“The sett closure shall not in in any circumstances commence unless the local planning authority has been provided with either:

- a) a licence issued by Natural England pursuant Badger Protection Act 1992 authorizing the specified activity/development to go ahead; or
- b) a statement in writing from the relevant licensing body to the effect that it does not consider that the specified activity/development will require a licence.”

Reason: To conserve protected species and allow the LPA to discharge its duties under and Badger Protection Act 1992 and s17 Crime & Disorder Act 1998.

4. CONCURRENT WITH RESERVED MATTERS: PRIOR TO COMMENCEMENT: CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN: BIODIVERSITY

“A construction environmental management plan (CEMP: Biodiversity) shall be submitted to and approved in writing by the local planning authority.

The CEMP (Biodiversity) shall include the following.

- a) *Finalised Reptile Mitigation Strategy*
- b) *Risk assessment of potentially damaging construction activities.*
- c) *Identification of “biodiversity protection zones”.*
- d) *Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction (may be provided as a set of method statements).*
- e) *The location and timing of sensitive works to avoid harm to biodiversity features.*
- f) *The times during construction when specialist ecologists need to be present on site to oversee works.*
- g) *Responsible persons and lines of communication.*
- h) *The role and responsibilities on site of an ecological clerk of works (ECoW) or similarly competent person.*
- i) *Use of protective fences, exclusion barriers and warning signs.*
- j) *Containment, control and removal of any Invasive non-native species present on site*

The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the local planning authority”

Reason: To conserve protected and Priority species and allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species).

5. CONCURRENT WITH RESERVED MATTERS PRIOR TO SLAB LEVEL: BIODIVERSITY ENHANCEMENT

“A Biodiversity Enhancement Layout, providing the finalised details and locations of the enhancement measures contained within the submitted Abrehart Ecology reports, shall be submitted to and approved in writing by the local planning authority.

The enhancement measures shall be implemented in accordance with the approved details and all features shall be retained in that manner thereafter.”

Reason: To enhance Protected and Priority Species and allow the LPA to discharge its duties under the s40 of the NERC Act 2006 (Priority habitats & species).

6. CONCURRENT WITH RESERVED MATTERS PRIOR TO BENEFICIAL USE: LANDSCAPE AND ECOLOGICAL MANAGEMENT PLAN

“A Landscape and Ecological Management Plan (LEMP) shall be submitted to, and be approved in writing by, the local planning authority prior occupation of the development.

The content of the LEMP shall include the following:

- a) Description and evaluation of features to be managed.
- b) Ecological trends and constraints on site that might influence management.
- c) Aims and objectives of management.
- d) Appropriate management options for achieving aims and objectives.
- e) Prescriptions for management actions.
- f) Preparation of a work schedule (including an annual work plan capable of being rolled forward over a five-year period).
- g) Details of the body or organisation responsible for implementation of the plan.
- h) Ongoing monitoring and remedial measures.

The LEMP shall also include details of the legal and funding mechanism(s) by which the long-term implementation of the plan will be secured by the developer with the management body(ies) responsible for its delivery. The plan shall also set out (where the results from monitoring show that conservation aims and objectives of the LEMP are not being met) how contingencies and/or remedial action will be identified, agreed and implemented so that the development still delivers the fully functioning biodiversity objectives of the originally approved scheme. The approved plan will be implemented in accordance with the approved details.”

Reason: To allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species)

6. CONCURRENT WITH RESERVED MATTERS: PRIOR TO BENEFICIAL USE: WILDLIFE SENSITIVE LIGHTING DESIGN SCHEME

“A lighting design scheme for biodiversity shall be submitted to and approved in writing by the local planning authority. The scheme shall identify those features on site that are particularly sensitive for bats and that are likely to cause disturbance along important routes used for foraging; and show how and where external lighting will be installed (through the provision of appropriate lighting contour plans, Isolux drawings and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent bats using their territory.

All external lighting shall be installed in accordance with the specifications and locations set out in the scheme and maintained thereafter in accordance with the scheme. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority.”

Reason: To allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species)

7. ACTION REQUIRED: TIME LIMIT ON DEVELOPMENT BEFORE FURTHER SURVEYS ARE REQUIRED

“If any phase of development hereby approved does not commence within 18 months years from the date of the planning consent, the approved ecological mitigation measures secured through condition shall be reviewed and, where necessary, amended and updated.

The review shall be informed by further ecological surveys commissioned to:

- i. establish if there have been any changes in the presence and/or distribution or abundance of Great crested newt, bats (particularly in trees), reptiles or badgers and
- ii. identify any likely new ecological impacts that might arise from any changes.

*iii. determine impacts upon the qualifying features of the Little Blakenham Pit SSSI,
iii. Where the survey results indicate that changes have occurred that will result in ecological impacts not previously addressed in the approved scheme, the original approved ecological measures will be revised and new or amended measures, and a timetable for their implementation, will be submitted to and approved in writing by the local planning authority prior to the commencement of any phase of development.
iv. Works will then be carried out in accordance with the proposed new approved ecological measures and timetable.”*

Reason: To allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species)”

Place Services -Landscape Comments Received 4 September 2020

“Thank you for re-consulting us on the application for Outline Planning Permission. (Access to be considered) for the extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping.

This letter sets out our consultation response in relation to the amended Tree Survey, AIA & Protection Plan (Dwg ref: LSDP 11365-08 Rev D) and revised Landscape Master Plan (Dwg ref: LSDP 11365-05 Rev G) in response to our previous comments.

We welcome the amendments that have been made in light of our comments, and we are now satisfied that although the scheme includes the removal of trees, sufficient effort has been made to retain trees and remnants of good quality and appropriate replacement planting across the site will be provided to help mitigate landscape and visual impacts.

However, if minded for approval we would recommend the LPA Arboriculture Officer is consulted to ensure they are satisfied with the proposals. Also, the following conditions should be considered to ensure the ongoing management and maintenance of the planting stock is adequate:

ACTION REQUIRED PRIOR TO COMMENCEMENT OF DEVELOPMENT: ADVANCED PLANTING.

Before any works commence on site, details of advance native planting to boundaries shall be submitted and approved by the Local Planning Authority. Implementation will need to be carried out prior to any other construction work and in accordance with an implementation timetable agreed in writing with the Local Planning Authority.

Reason - In order to ensure key structural / screening landscape planting is carried out at the earliest opportunity, in the interest of the landscape character and amenity of the locality, and the character, setting and significance of heritage assets.

ACTION REQUIRED PRIOR TO COMMENCEMENT OF DEVELOPMENT: LANDSCAPE MANAGEMENT PLAN.

No development shall take place until there has been submitted to and approved, in writing, by the Local Planning Authority a landscape management plan and associated work schedule for a minimum of 10 years. Both new and existing planting will be required to be included in the plan, along with surface treatments, SuDS features and all other landscape assets.

Reason - in the interest of the landscape character and amenity of the locality, and the character, setting and significance of heritage assets.”

B: Representations

At the time of writing this report at least 4 letters/emails/online comments have been received. It is the officer opinion that this represents 4 objections, 0 support and 0 general comment. A verbal update shall be provided as necessary.

Views are summarised below:-

- Highway safety, speeding, number of vehicles/traffic
- Environmental Impacts
- Climate change

(Note: All individual representations are counted and considered. Repeated and/or additional communication from a single individual will be counted as one representation.)

PLANNING HISTORY

REF: DC/17/03851	Discharge of conditions application for 2351/16 - Conditions 12,15,17 and 19 Dormouse (<i>Muscardinus avellanarius</i>) Survey Report, Construction Environmental Management Plan, Reptile Mitigation Strategy, Badger (<i>Meles meles</i>) Survey Report, 1823 SK10-40A - Proposed Phasing Plan.	DECISION: GTD 15.08.2017
REF: DC/17/05234	Discharge of Conditions applications for 2351/16 - Condition 18 (Prior to commencement: Great Crested Newts)	DECISION: GTD 13.11.2017
REF: DC/18/00284	Discharge of Conditions Application for 2351/16 - Condition 9 (Archaeology).	DECISION: GTD 16.03.2018
REF: DC/18/01897	Discharge of Conditions for Application 2351/16 - Conditions 20 (Details of proposed access) and 26 (Provision of off-road cycle improvements)	DECISION: GTD 21.06.2018
REF: DC/19/01775	Discharge of Conditions Application for 1755/17 - Condition 32 (Hard and Soft Landscaping Masterplan).	DECISION: GTD 15.07.2019
REF: DC/19/01776	Discharge of Conditions Application for 1755/17 - Condition 5 (Levels), 6 (Surface Water Drainage Details), 7 (Construction Management), 25 (Provision of Roads and Footpaths), 28 (Highways - Parking and Turning), 31 (Tree Protection) and 33 (Materials and Layout).	DECISION: PGR 10.09.2019
REF: DC/19/01793	Submission of details under Outline Planning Permission 2351/16 (Varied by Section 73	DECISION: GTD 23.10.2019

permission 1755/17) for Appearance, Landscaping, Layout and Scale of Phase 2 extending estate road approved under DC/18/01897 to eastern & central parts, provision of main services & balancing lagoon & Phase 4 for central warehouse unit plot.

REF: DC/19/01827	Submission of Details under Outline Planning Permission 2351/16 (Varied by Section 73 permission 1755/17) for Appearance, Landscaping, Layout and Scale of Phase 1 Access Works	DECISION: GTD 10.07.2019
REF: DC/19/04320	Discharge of Conditions Application for 1755/17- Condition 6 (Surface Water Drainage Details) (Part Discharge for Phases 2 and 4)	DECISION: GTD 30.10.2019
REF: DC/19/05259	Discharge of Conditions Application for 1755/17 - Conditions 11 (Agreement of Materials), Condition 29 (Highway Works), Condition 34 (Soft Landscaping) and Condition 35 (Hard Landscaping)	DECISION: GTD 31.01.2020
REF: DC/19/05435	Discharge of Conditions Application for 1755/17 - Condition 13 (Sustainability) (Part discharge in relation to Phase 4 only)	DECISION: GTD 11.03.2020
REF: 1755/17	Application for variation of condition 20 following grant of planning permission 2351/16: "Application for outline planning permission (including access, all other matters reserved) for development of business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping" to enable revised details for proposed accesses	DECISION: GTD 29.10.2018
REF: 2351/16	Application for outline planning permission (including access, all other matters reserved) for development of business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford	DECISION: GTD 17.11.2016

Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping.

REF: 1297/11	Erection of 2 no aluminium warehouses	DECISION: GTD 27.07.2011
REF: DC/18/02066	Application under Section 73 of the Town and Country Planning Act - 'Retail unit built with 6 flats above' - Variation of Condition 11 planning permission 3310/14 (Restriction of Operation Times).	DECISION: GTD 17.08.2018
REF: DC/19/01400	Discharge of Conditions Application for 3310/14 - Condition 8 (Land Contamination)	DECISION: GTD 29.04.2019
REF: DC/20/01369	Discharge of Conditions Application for 3310/14 - Condition 8 (Land Contamination)	DECISION: GTD 02.06.2020

PART THREE – ASSESSMENT OF APPLICATION

1. The Site and Surroundings

- 1.1 The application site is located on the western side of the B1113 (Bramford Road), to the north of the junction that links a single carriageway section with dual carriageway section that extends towards the A14 trunk road. The site is irregularly shaped and comprises of agricultural land and commercial land.
- 1.2 There are a number of industrial units to the north and east of the site, approximately 20 buildings in total.
- 1.3 Outline planning permission and subsequent reserved matters were approved for a development of a business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping in November 2016 under reference 2351/16 (Figure 1).
- 1.4 The existing 2016 permission (2351/16) was varied to ensure that the conditions reflected the phased nature of the scheme and the existing development is now being brought forward under outline planning permission 1755/17. Reserved matters approvals have been granted in respect of
 - Phase 1 – Access,
 - Phase 2 – Estate Roads and
 - Phase 4 – Plot 4 (refs DC/19/01827 and DC/01793) and site-wide pre-commencement conditions, together with those parts of the phased pre-commencement conditions which relate to Phases 1, 2 & 4, have been fully discharged.

Accordingly, work commenced on-site at the end of 2019.

- 1.5 Subsequent submission of details for Phase was granted in July 2019 under DC/19/01827 and the submission of details for Phase 2 was granted in October 2019 under reference DC/19/01793 7 respectively. This scheme was approved on a smaller site area which now forms part of the red line site plan as submitted with this application, the approved scheme is currently under construction.

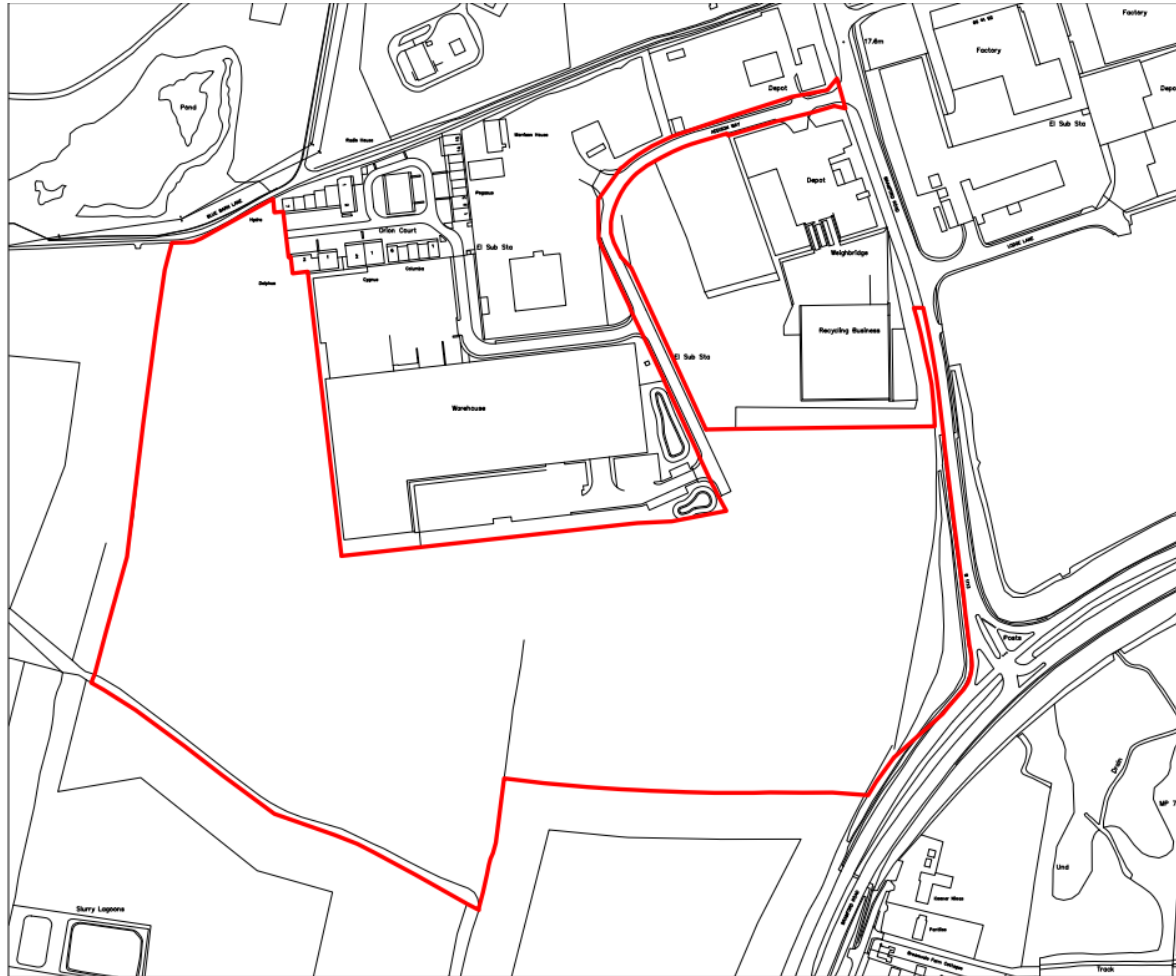


Figure 1. The Red Line Site Plan for application 2351/16



Figure 2. Approved Scheme Currently Under Construction



Figure 3. Site of SnOasis in context to the proposed development (Google Maps, 2020)



Figure 5. ORion Business Park to the north of the site

Figure 4 Existing site 2351/16 and site for 3655/13



2. The Proposal

- 2.1 The proposal seeks an extension to the Port One Logistics Park which is currently under development following previous approval under 2351/16 and the subsequent reserved matters. The previously approved scheme was to develop approximately 14.5 hectares of land as a logistic park for both B1 and B8 uses, including a new access.
- 2.2 The proposed extension would add an additional 8 hectares onto the existing previously approved parcel of land resulting in the logistics park increasing to a total area of approximately 22.2 hectares in total. Of this additional 8 hectares, approximately 4.8 hectares form part of another extant planning permission 3655/13. Figure 5 demonstrates the approved site plan boundary under 2351/16 together with the approved scheme under 3655/13. Planning permission 3655/13 was granted for the erection of two industrial greenhouses; the southern greenhouse has been built and is currently in use as shown below (Figure 6). The area of land for the Northern Greenhouse now forms part of the red line site for this application (Figure 6a).

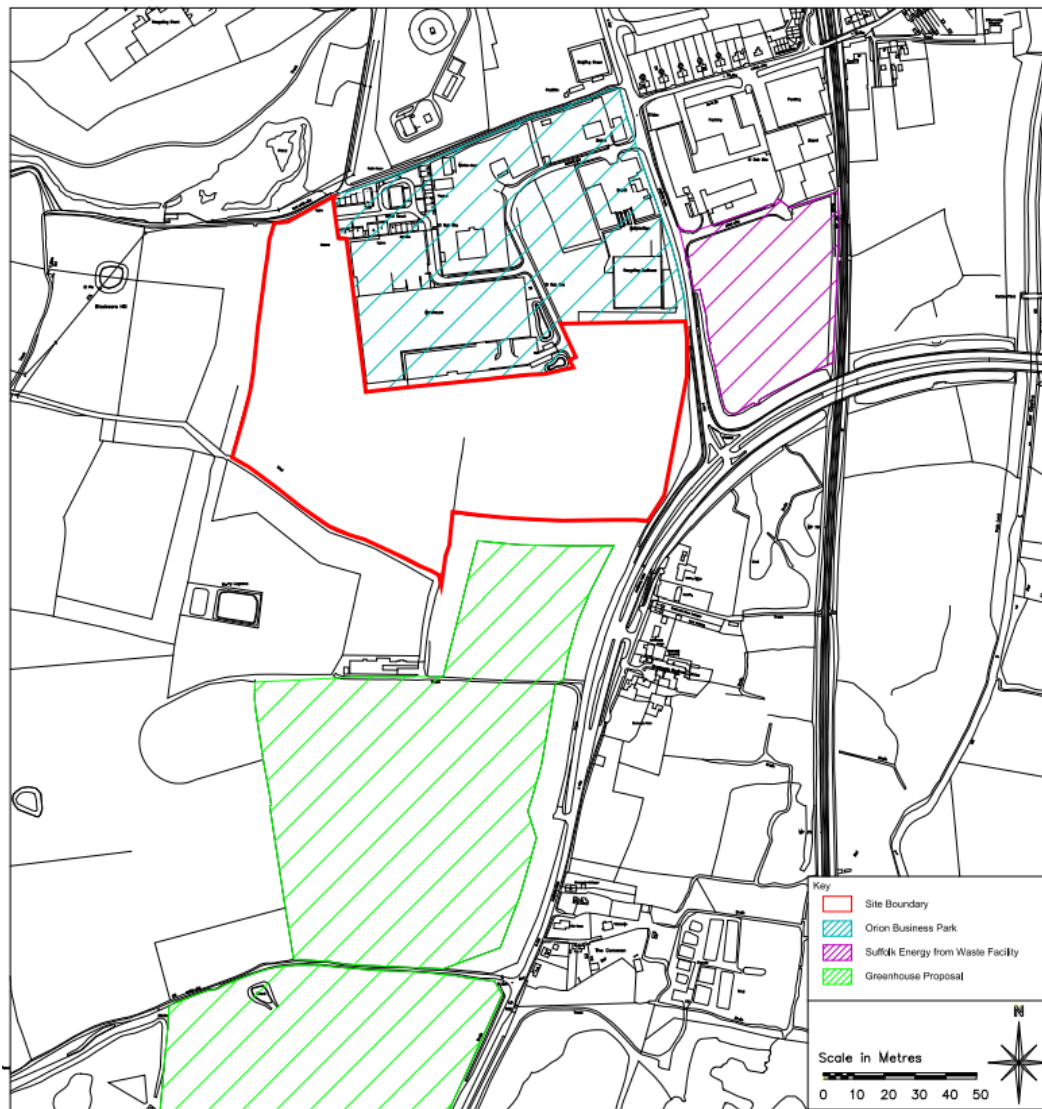




Figure 6a. Red Line Site Plan demonstrating part of the land from the northern greenhouse approved under reference 3655/13.

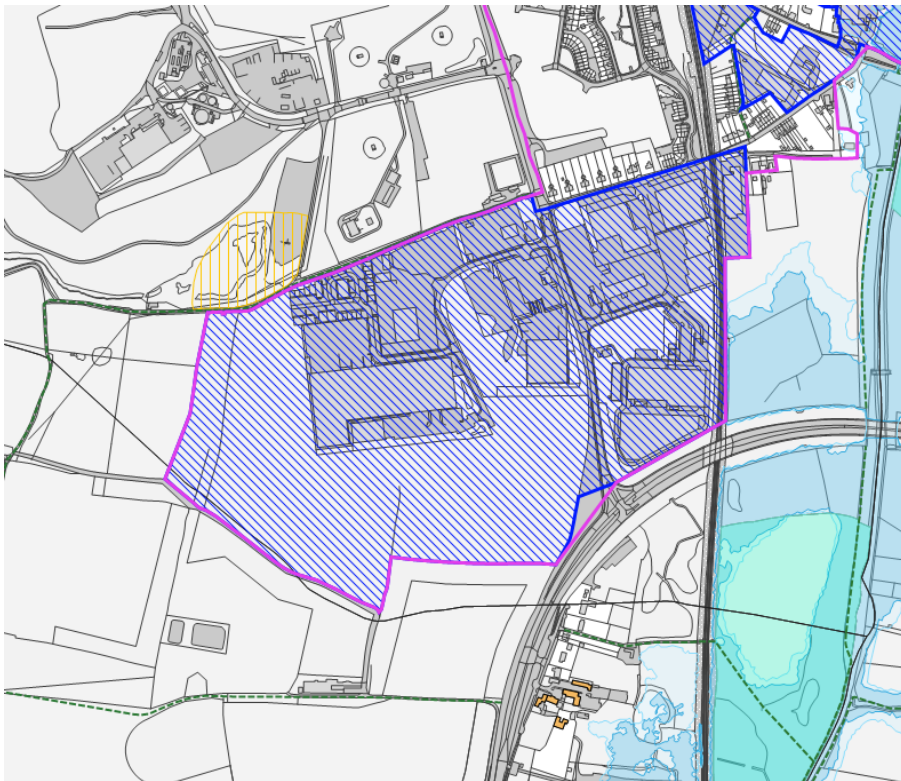
- 2.4 The proposed development would allow for 3.7 hectares of land within the red line site plan (of the additional 8 hectares overall) to be landscaped as part of the larger proposal and include a drainage lagoon, screen bunding, additional landscape planting and ecological mitigation.
- 2.5 The application is for outline planning permission only with all matters reserved save for access, however an illustrative site layout plan has been provided as part of the application which demonstrates potentially 9 units with a total floor area of approximately 69,737 square metres.
- 2.6 This proposal will infill, and round off existing, and committed, employment development and will, as with the existing Park, be contained, and screened by landscaping as discussed below.

3. The Principle of Development

3.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states:

“If regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.”

- 3.2 It is therefore the starting point for the Council when determining planning applications and so we must first consider the application in the light of relevant Development Plan policies.
- 3.3 The principle of development for a logistics park on this site has already been established in large part by the planning permission granted under application reference 2351/16 and the subsequent Section 73 and reserved matters applications.
- 3.4 The remainder of the site however is not allocated for development in the Draft Joint Local Plan – Preferred Options Document 2019 [the Emerging Local Plan 2018 – 2036], as shown below.



- 3.5 The Core Strategy 2008 supersedes a number of policies of the 1998 Local Plan. Similarly, the Focused Review 2012 supersedes a number of policies as set out in the 2008 Core Strategy the consequence of which will be drawn where appropriate.
- 3.6 The following key designations are relevant:
- Great Blakenham and Claydon Villages are designated as a Key Service Centre (Core Strategy Policy CS1). As such it is considered that development should be focused here, after towns as these Key Service Centres are considered to be capable of growth and are sustainable locations.
 - The site lies in the open countryside outside of the defined settlement limits of Great Blakenham and Claydon (1998 Local Plan Proposals Map) however it is within close proximity to the settlement boundaries and is well connected to both. It will already have been noted from the preceding references that the site actually sits amongst existing and approved commercial uses and so reference to it as countryside is perhaps now somewhat misleading from the time of the CS8 allocations.
 - The site lies adjacent to, and to the south of, an employment allocation which has subsequently been developed as the Orion Business Park (1998 Local Plan Proposals Map).
 - The site lies within the Ipswich Strategic Planning Area (formerly Ipswich Policy Area). The Ipswich Strategic Planning Area refers to an area of geography which includes the urban area of Ipswich Borough Council and the local communities that have a close functional relationship with Ipswich but fall within the administrative district boundaries of Babergh, Mid Suffolk and Suffolk Coastal.
 - SnOasis
- 3.7 In addition to the provisions of the development plan, national planning guidance, as set out in the National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG), will also be relevant to the determination of the application.
- 3.8 Policy FC1 confirms that the Council will take a positive approach to development proposals and grant planning permission for sustainable development, particularly where it secures, and improves, economic, social and environmental conditions in the district (Figure 7).

Policy FC 1

Presumption in favour of sustainable development

When considering development proposals the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework. It will always work proactively with applicants jointly to find solutions which mean that proposals can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area.

Planning applications that accord with the policies in this Local Plan (and, where relevant, with policies in neighbourhood plans) will be approved without delay, unless material considerations indicate otherwise.

Where there are no policies relevant to the application or relevant policies are out of date at the time of making the decision then the Council will grant permission unless material considerations indicate otherwise – taking into account whether:

Any adverse impacts of granting permission would significantly and demonstrably outweigh the benefits, when assessed against the policies in the National Planning Policy Framework taken as a whole; or

Specific policies in that Framework indicate that development should be restricted.

Figure 7. Core Strategy Focused Review Policy FC1

- 3.9 Policy FC1.1 indicates that, important material considerations include how a proposal addresses the context and key issues of the district, which the Focused Review document prioritises as being the requirement to provide for the housing and employment needs of the district (Strategic Objective S06).
- 3.10 The Core Strategy (as updated by the Focused Review) seeks to direct the majority of new development to the existing towns and settlements, as they are defined in the settlement hierarchy set out in Policy CS1. Claydon and Great Blakenham are, together, defined as being a Key Service Centres are second only to Towns in the Adopted spatial Hierarchy.
- 3.11 One of the objectives of the 2012 Focused Review, was to update the employment policies of the Core Strategy in order to take into account the results of the Western Suffolk Employment Land Review 2009 (ELR) and the National Planning Policy Framework 2012 (NPPF). Statement 3 confirms that the preferred locations for employment growth are those set out in the Core Strategy. They are Stowmarket, the Ipswich Policy Area (IPA), Needham Market, Mendlesham Airfield, Eye Airfield and Woolpit Business Park. Great Blakenham, and the subject site, lie within the Ipswich Policy Area. Statement 5 also confirms that the District needs to make significant allocations of employment land,

in appropriate locations, in order to both increase the number of jobs (in order to meet forecast need) and reduce unsustainable existing levels of out-commuting.

- 3.12 Policy FC3 commits the Council to delivering land to provide at least 8,000 additional jobs in the District by 2006 and an indicative 11,100 jobs by 2031. It identifies a 39.5 hectare site at Mill Lane, Stowmarket which, it is anticipated, will deliver an estimated 3,395 jobs by 2026. Even with this allocation, and taking into account all other existing commitments, the Focused Review (para 5.25) acknowledges that there will be a shortfall of some 1,643 jobs (against the forecast need for 8,000 jobs) by 2026 and a shortfall of 4,743 jobs (against a requirement for 11,100) by 2031. Policy FC3 provides that the land required to meet the identified shortfall (1,643 jobs - now acknowledged to be 3,113 jobs by 2026) is to be identified in subsequent development plan documents.
- 3.13 It also confirms that the new allocations should be situated:
- In or close to towns and Key Service Centres.
 - In areas with good access to the District's major transport routes.
 - In areas with good access by public transport.
 - Within the six major growth areas identified in Statement 3, which includes the Ipswich Policy Area.
- 3.14 The application site satisfies all the above criteria. It lies adjacent, and has good pedestrian and cycle links, to the Key Service Centre at Claydon and Great Blakenham. It lies within the Ipswich Policy Area. Most importantly, it has excellent, direct, access to the A14 (and from there, the main towns in the District as well as Ipswich, Felixstowe, Harwich, the Midlands and London). Given the type of uses proposed for the site (logistics and Class 88 storage and distribution), this is a key factor which will ensure the sustainability and success of the development.
- 3.15 The identification, and development, of the site is also consistent with the provisions of the Mid-Suffolk Local Plan 1998. Policy E1 of that Plan (which was subsequently superseded by Policy CS11 and, more recently, Policy FC3), identified the land to the north of the subject site for industrial and commercial development (Proposal 9). This was on the basis that this site (now developed as the Orion Business Park), was well located with respect to the settlement hierarchy, existing commercial developments, the Ipswich Policy Area and the principal communications network.
- 3.16 The proposal is also consistent with Local Plan Policy E9, which concerns the location of new employment development. Whilst this policy primarily seeks to direct new development to existing employment sites, or settlements, it provides that, and, notwithstanding the strict control of development in the countryside, where it can be demonstrated that there is a lack of sites or premises for new businesses within nearby settlements, proposals maybe acceptable on small sites closely related to existing industrial or commercial sites or the existing built up area of a town or village ...".
- 3.17 In the Draft Joint Local Plan – Preferred Options (Reg 18) July 2019 Document [the Emerging Local Plan 2018 – 2036, emerging policy SP05 states inter alia that along the strategic transport corridors development of net additional employments sites shall be supported in principle subject to:
- Highway access
 - Design and layout
 - High quality design
- 3.18 As the application is outline only with solely access to be considered, the design and layout and the high quality design cannot be ascertained at this time however the proposed access has been agreed with and is supported by SCC Highways and therefore the proposal is considered to meet Policy

Policy SP05 – Employment Land

In order to support and encourage sustainable economic growth and ensure a continuous range and diversity of sites and premises which are fit for purpose are available across the Districts of Babergh and Mid Suffolk through the plan period the following existing strategic employment sites shall be protected and their proposed expansion supported in principle:

- i. **Stowmarket - Charles Industrial Estate, Gipping Valley, Gipping Way Industrial estate, Mill Lane/Gateway14, Tomo Industrial estate**
- ii. **Sudbury – Churchfield Road, Northern Road, Chilton Industrial Estate, Wood Hall Business Park, Delphi Site**
- iii. **Villages around Ipswich**
 - a) **Claydon & Great Blakenham – Claydon Business Park, Addison Way, Bramford Rd/Lodge Lane Industrial Estate, Gipping Road Industrial Estate**
 - b) **Wherstead – Wherstead Business Park**
 - c) **Sproughton – Former Sugar Beet site, Farthing Road Industrial Estate, London Road A1214**
- iv. **Acton – Bull Lane**
- v. **Eye – Eye Airfield**
- vi. **Hadleigh – Lady Lane**
- vii. **Needham Market – Lion Barn**
- viii. **Woolpit – Lady’s Well, Lawn Farm, Brickworks, Woolpit Business Park**

Employment-led regeneration is supported at Brantham and at the Former Sproughton Sugar Beet regeneration sites.

Along the strategic transport corridors (A12, A14 and A140) development of net additional employment sites shall be supported in principle, subject to:

- a. **adequate highway access and off-road parking for its type, mix, use and location; and**

Figure 8. Emerging Draft Joint Local Plan Policy SP05

- 3.19 Similarly, Local Plan Policy E10 provides that new industrial and employment development will be permitted in the countryside where it can be demonstrated that there is an overriding need and that it will contribute to the local economy and create job opportunities for nearby communities. The proposal will deliver these objectives as it would provide for 137,441 square metres of warehousing/employment space and generate approximately 580 new jobs.
- 3.20 Local Plan Policy E9 sets out a similar location criteria to the more up to date, and relatively recently adopted, Core Strategy Focused Policy FC3. As with Policy FC3, the proposal is entirely consistent with the requirements of this policy, in that there is an acknowledged need for new employment development as identified in the Grow on Space Supply and Demand Analysis (2019). The site is well located next to an established employment area.
- 3.21 The Grow on Space Supply and Demand Analysis (2019) demonstrates that there is a pattern of insufficient space across both Mid Suffolk and Babergh, with most new developments coming onto the market being quickly taken up particularly in Ipswich and Bury St Edmunds which offer new and

high quality space where parking and broadband are key. The Grow on Space Supply and Demand Analysis (2019) identifies that the increasing pressure for more housing is shrinking the availability of land for employment spaces as such there is more need for employment land within the district. The proposal offers an additional area of land adjacent to existing employment sites in a key location both along the A14 transport corridor and given its proximity to new housing development situated along the B1113.

- 3.22 The Open for Business Strategy (2018) states that both Babergh and Mid Suffolk are “an attractive business proposition in its own right – including ‘Space to Innovate’ branded Enterprise Zones, Food Enterprise Zones, ‘greater’ Stowmarket and the A14 corridor from the Port of Felixstowe, ‘greater’ Sudbury and South Suffolk area and the Ipswich fringe/A12 gateway. BMS business can and do help to reinforce and grow the regional economy”. Point 6.3 of this document along with the case study on page 29 demonstrates the need for employment land and that there is a need to influence the creation of site-ready development.
- 3.23 The proposal is also consistent with Local Plan Policy E3, which provides that, throughout the district, warehousing and haulage depots, including proposals for container compounds and handling areas, will be considered on their merits, with particular regard being given to the accessibility of the site to the primary route network. This site has direct, convenient and safe access to the A14. Finally, and in policy terms, the proposal is also consistent with the objectives of Local Plan Policies E4 and E6, in that the development of this site will help consolidate the existing commercial uses which surround it.
- 3.24 The proposed site is considered to be strategically advantageous given its location within close proximity to junction 52 of the A14 transport corridor and is considered by Planning Officers to be a logical expansion to the existing commercial/logistics site in this location.
- 3.25 Under the economic aims of Core Strategy policy, the emerging Joint Local Plan and paragraph 82 of the NPPF, the A14 corridor is identified as an area to direct significant employment growth towards given the sustainable and accessible location.
- 3.26 The Ipswich Economic Area Sector Needs Assessment (2017) demonstrates that the site forms part of the “spill over” for the Ipswich Fringe and is one of the main economic hubs along the A14 corridor within the Mid Suffolk District (Figure 9).
- 3.27 Manufacturing activity within Mid Suffolk is concentrated in and around the areas of Stowmarket and Great Blakenham / Claydon to the south of the District.
- 3.28 Many of the Ipswich Economic Area’s existing industrial estates are long established, and much of the space is dated and of secondary quality. To an extent, the availability of space in these locations has historically attracted manufacturing businesses here, albeit they may not represent the ideal location for modern occupiers.
- 3.29 For larger firms, proximity to the area’s strategic routes (most notably the A14) is key, particularly if they are operating HGV vehicles, and good accessibility is also an important factor for attracting and retaining staff.
- 3.30 Available space for logistics uses is reported to be in short supply in the current market and this represents a particular ‘pinch point’ in terms of supply. The Ipswich Economic Area Sector Needs Assessment (2017) states that locations which attract the strongest levels of market demand for logistics and transport space extend along the A14 corridor from the Port of Felixstowe to Stowmarket.

3.31 As stated in the Ipswich Economic Area Sector Needs Assessment (2017) “Opportunities exist to significantly support the growth of port-based logistics activities in and around the Port of Felixstowe; availability of suitable land in close proximity to the port and the wider A14 corridor will therefore be critical to both support expansion of the Port itself as well as associated distribution centres along the study area’s key transport corridors.” As such this development is ideally located to satisfy this type of demand.

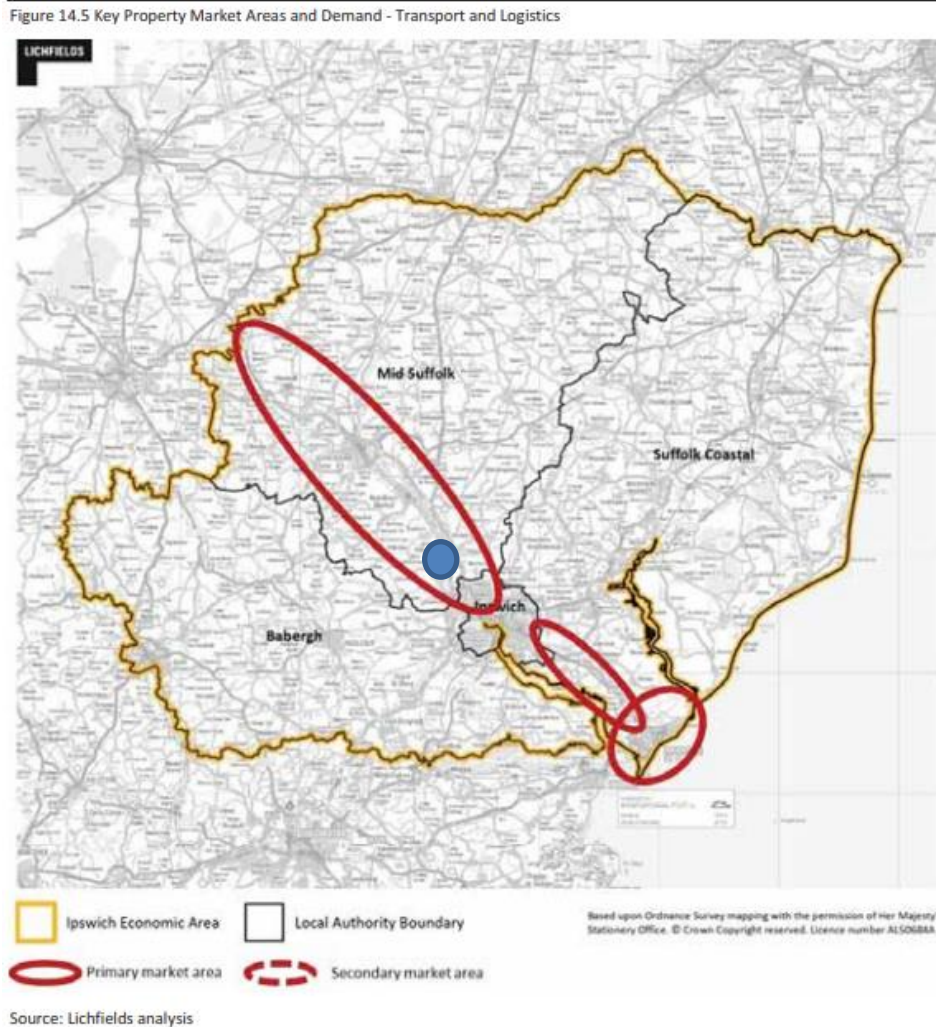


Figure 9 Ipswich Economic Area Sector Needs Assessment Transport and Logistics Corridor

3.32 The proposed site, is mostly within land already allocated for development for business/commercial units and benefits from the existing permission which is already underway.

3.33 An additional section of the site, again, has had the principle of development established on it by way of the application for the erection of two greenhouses under reference 3655/13 (Figure 11). The area of land which therefore is unallocated is considered to be quite small, in only the southwestern corner of the site and therefore due to its size it’s considered immaterial in terms of the overall impact the proposed larger commercial area would have.



Figure 10 Existing red line site plan approved under /16 and the current proposed red line site plan



Figure 11 Proposed site in context with both approved applications 2351/16 and 3655/13

3.34 As such given the existing extant permissions and area of land already allocated for development together with the strategic location on both the Ipswich Fringe but also the A14 corridor, the additional employment opportunities created and the natural expansion of the existing employment side/area and the considered need for employment sites, the principle of development is considered acceptable when assessed against the aforementioned policies.

4. Nearby Services and Connections Assessment Of Proposal

- 4.1 The application site is situated outside any settlement boundary however it is well connected due to its proximity to the A14 which provides a dual carriage link direct to Felixstowe which is the largest container port in the United Kingdom (handling over 42% of all the country's containerised trade). It is the sixth busiest port in Europe and the A14 links it directly to the M1, M6, M42 'golden triangle', where many of the main logistic companies in the country are based.
- 4.2 There are existing employment uses to the north and east of the site and this area is considered to be an established employment location, with good access to a large, skilled, workforce living in Stowmarket, Needham Market and the Ipswich Policy Area. There is also the Sproughton Enterprise Park nearby together with SnOasis although this has not yet been developed.

5. Site Access, Parking And Highway Safety Considerations

- 5.1 The application seeks outline planning permission with access to be considered. The access would be off the new junction from the B1113 Bramford Road, Addison Way (in-only) and the new estate road, for which detailed planning permission has already been granted (outline permission 1755/17 and reserved matters approvals DC/19/01827 and DC/01793).
- 5.2 The approved access from Bramford Road consists of a new priority junction arrangement which only permits left turn in and right turn out movements. The site provides a secondary access from Addison Way allowing cars, vans and emergency vehicles to enter and exit the site in both directions on Bramford Road. The junction geometry has been designed to physically prevent HGV movements to ensure all HGVs enter and exit the site from the A14 direction and the main site access.
- 5.3 SCC previously advised that there should be no increase in HGV movements on minor roads in the area and that development traffic should be encouraged to use the A14. The approved access has therefore been designed to ban left turn movements from the development northbound on Bramford Road. The B1113 Signal Junction south of the site only permits left turn movements towards the A14. Therefore, any HGV traffic exiting the proposed site will be directed to the A14 Interchange junction to the east. Local car traffic wishing to travel towards Great Blakenham can exit the site via Addison Way and turn left to Bramford Road. Therefore, cars and LGVs can enter and exit the site in both northbound and southbound directions on Bramford Road; allowing freedom of movement for local light traffic.
- 5.4 The Suffolk County Transport Model (SCTM) has been used to assess the car and HGV traffic distribution to and from the development during the AM and PM peak hours with the Snoasis development traffic flows included in the model. Addison Way/Bramford Road junction, B1113/Bramford Road signal junction and the A14 Claydon Interchange roundabout all operate within capacity. The site access operated above capacity during the peak hour periods therefore there is a proposal to introduce a signalised junction so the junction operates with spare capacity.
- 5.5 As part of the previously approved development Port One is currently implementing a number of S106 pedestrian / cycle improvements including a 3m shared pedestrian / cycleway along Addison Way between Port One and Bramford Road. The S106 contribution also includes a footway along the western side of Bramford Road between Addison Way and the entrance to Gipping Valley Bowls Club just north of Blue Barn Lane. In addition, a signalised pedestrian crossing is proposed just north of Blue Barn Lane to connect the footway to the recently implemented footway on the eastern side of Bramford Road. The approved site access arrangements also include a footway on the western side of Bramford Road between the site access and Addison Way, including an informal crossing to the north of the site access to the existing footway on the eastern side of Bramford Road. There will be a footway network throughout the Port One site and an off-road shared used pedestrian / cycleway on one side of the main access road from the junction with Bramford Road. All units within the site will be provided with high quality and sustainable access to the surrounding area.
- 5.6 The proposals will retain the previously approved free minibus service which will be provided by Port One between the hours of 0730-0930 during the AM peak period and 1600-1800 during the PM peak period to improve staff access to public transport facilities and the local area. The timing of the service will be reviewed as part of the Travel Plan and will be adjusted or extended if required to best serve the needs of the site as it is occupied.

- 5.7 SCC Highways have been consulted and initially requested further clarification and information which was provided by the Agent, as such the Highways Authority have no objection to the proposal given the proposed mitigation and contributions for highway improvements together with appropriate conditions.
- 5.8 Both Planning Officers and the SCC Highways Authority note the request made by the Parish Council with regards to a reduced speed limit from 40mph down to 30mph be introduced along Bramford Road. SCC Highways have consulted the Traffic Management Officer from the Police who have indicated that the existing speed limit, 40mph, is appropriate for the surroundings and the police would not support a lower speed limit here as it is unlikely to be followed without further traffic calming measures being introduced.
- 5.9 It is noted that there are two Public Footpaths within close proximity to the site, one which runs adjacent to the north of the site and along the north of Orion Business Park and one which runs adjacent to the southern boundary of the site. Neither of these Public Footpaths would be affected by the proposed development and no objections have been received by the Public Rights of Way Team.

6. Design And Layout [Impact On Street Scene]

- 6.1 The proposal seeks outline planning permission with access to be considered but all other matters reserved. As such the detailed design and final layout is not up for consideration at this stage however, the submitted plans provide an indication of the possible building heights together with their orientation on the site.
- 6.2 The indicative site plan demonstrates the possible ridge heights of the proposed buildings which are largely set by the prescribed use, the indicative plans demonstrate the proposed buildings to be no higher than 50m ridge height.
- 6.3 Whilst the proposed heights if allowed will be physically prominent within the wider landscape, it is noted that there are a number of taller structures nearby which compromise the wider industrial/commercial area. For instance:-
- to the east of the site is the Great Blakenham Energy from Waste building which has a height of 37.5m with the flue having a height of 81m.
 - the approved development known as SnOasis which is to the northwest of the site will, as presently approved have a ski-run with a height of 94m.
 - the industrial buildings under construction immediately to the north with Phase 1 of the Port One Development have approved heights of 47m.
 - immediately to the south the greenhouses have ridge heights of 11.3m at their highest but a combined approved floor area of 165.52 square metres.
- 6.4 The proposed ridge height of 50.5m is therefore considered, on balance proportionate given the nature of their intended use for distribution and the surrounding built form and proposed future developments.
- 6.5 The proposed development is considered to infill, and round off existing, and committed, employment development and will, as with the existing Park, be contained, and screened, by appropriate landscaping.



Figure 12. Sketch of the Proposed SnOasis building at 94m high.

7. Landscape Impact, Trees, Ecology, Biodiversity And Protected Species

- 7.1 Policy CS5 of the Core Strategy seeks to protect and conserve landscape qualities taking into account the natural environment and the historical dimension of the landscape as a whole rather than concentrating solely on selected areas, protecting the District's most important components and encouraging development that is consistent with conserving its overall character.
- 7.2 The NPPF provides that the planning system should contribute to and enhance the natural and local environment by protecting and enhancing valued landscapes, geological conservation interests and soils.
- 7.3 The NPPF requires planning authorities, when determining planning applications, to seek the conservation and enhancement of biodiversity by ensuring significant harm resulting from a development is avoided (through locating on an alternative site with less harmful impacts), or where not possible to be adequately mitigated, or, as a last resort, compensated for, and if this cannot be secured then planning permission should be refused.
- 7.4 The topography of the surrounding area is relatively low-lying with a mixture of industrial, commercial and agricultural uses surrounding the site.
- 7.5 Whilst the application is outline only with all matters reserved saved for access, an indicative site plan and landscaping plan has been submitted to demonstrate the proposed boundary treatment. The indicative plan demonstrates a number of areas of additional planting and additional screening, this proposed landscaping comprises 3.7 hectares of the site which is equivalent to 46% as a percentage of the area.

- 7.6 Place Services Landscaping have been consulted and raise no objection to the proposal subject to conditions in relation to planting prior to any works and a landscape management plan. The indicative site plan demonstrates the potential landscaping scheme, it is noted that whilst the scheme includes the removal of trees, sufficient effort has been made to retain trees and remnants of good quality and appropriate replacement planning across the site will be provided to help mitigate landscape and visual impacts.
- 7.7 Place Services Ecology have also been consulted and whilst initially had a holding objection, this has since been removed as the Agent has now submitted appropriate surveys and reports to address the previous concerns raised by Ecology. Place Services Ecology have no objection subject to securing biodiversity mitigation, compensation and enhancements.
- 7.8 The letter from Abrehart Ecology Ltd (24 Sept 2020) relating to the Tree (Bat) Roost Assessment confirms that planned mitigation for the overall phased development includes sensitive lighting along retained and created commuting corridors. This will minimise risk of disturbance to bats roosting within retained trees or commuting across the local landscape from the nearby SSSI at Little Blakenham. Furthermore, bat boxes will be installed on retained trees and a dedicated 'bat house' will be created within wildlife areas. These are proposed to not only offset any loss of roosting opportunities, but to enhance roosting opportunities for bats in the local area – particularly through the increase in hibernating potential.
- 7.9 The further Great Crested Newt (*Triturus cristatus*) Outline Mitigation Strategy (August 2020), demonstrates how mitigation and compensation measures will be delivered for the excellent population of Great Crested Newts contained within the site. Ecology Place Services are therefore satisfied that the LPA will have regard to Conservation of Habitats and Species Regulations 2017 (as amended) when issuing a decision for this European Protected Species, by having certainty that an European Protected Species Mitigation (EPSM) licence will likely be granted for this application. This EPSM Licence will need to be secured as a prior to commencement condition, should Members be minded to approve the application.

8. Land Contamination, Flood Risk, Drainage and Waste

- 8.1 Environmental Health confirm that there is no objection to the proposal in this regard.
- 8.2 SCC Flood & Water Management originally objected to the proposal due to insufficient information however this has been addressed through additional reports and technical notes. It is also noted that the proposal is outline only and therefore the layout, levels, appearance and specific development areas are not fixed by the grant of outline permission. The layout and levels that are put forward will be informed by the drainage FRA/Strategy. As such SCC Flood & Water Management no longer raise an objection subject to condition in relation to surface water drainage strategy.

9. Heritage Issues [Including The Impact On The Character And Appearance Of The Conservation Area And On The Setting Of Neighbouring Listed Buildings]

- 9.1 The proposed development site does not lie within a Special Landscape Area or a Conservation Area and there are no listed buildings nearby. The proposed development would therefore not have any detrimental impact in this regard and is considered acceptable.

10. Impact On Residential Amenity

- 10.1 The proposed site is situated within an existing industrial/commercial area. The proposed development is not considered to cause a significant detrimental impact on residential amenity.
- 10.2 It is noted that third party representations have been received in relation to the number of vehicle movements and traffic generated as a result of the scheme both during construction and once built. Whilst the proposal will create more vehicle movements and some traffic, this has been mitigated as per SCC Highways recommendations and SCC Highways do not consider there to be a detrimental impact to warrant refusal in relation to highways matters.
- 10.3 The proposal is not considered to cause unacceptable harm to existing neighbouring residential amenity, or to result in unacceptable levels of privacy and amenity to the proposed dwellings as to consider refusal in this respect.

11. Planning Obligations / CIL

- 11.1 A Deed of Variation will be required to link this development to benefits arising from a previous S106 Agreement on the earlier phases of development at Port One and extend them to include additional space within the latest phase.
- 11.2 All the other infrastructure impacts of the proposal would be subject to funding via CIL, if and where applicable.

PART FOUR – CONCLUSION

12. Planning Balance and Conclusion

- 12.1 At the heart of the balancing exercise to be undertaken by decision makers is Section 38(6) of the Planning and Compulsory Purchase Act 2004; which requires that, if regard is to be had to the development plan for the purpose of any determination to be made under the Planning Acts, determination must be made in accordance with the plan unless material considerations indicate otherwise. That said Members will now be familiar with the fact that here in Mid Suffolk regard needs to be given to the NPPF because in taking decisions the '*tilted balance*' [paragraph 11[d] NPPF] comes into play because certain of the Council's Development Plan policies relevant to the matter under consideration here have been held to be 'out-of-date'.
- 12.2 As set out in this report, it is clear that the majority of the site falls within existing allocated land for employment development, and the majority of the site already benefits from permission for commercial use, with only the southwestern corner considered to still be agricultural land with no established principle of development. In terms of the immediate context it is difficult to read the parts of the application that are currently outside of the employment allocation and/or not the subject of existing planning permissions for commercial development as countryside.
- 12.3 Just to the north is the former quarry that is the subject of the 'SnOasis' proposal which now benefits from a Reserved Matters approval. That vast site will be transformed with a ground-breaking recreational centre which will transform the immediate setting of the application site as it brings significant economic benefits into the District.
- 12.4 The proposed development would create approximately 580 jobs as well as bring about enhanced highway improvements for the existing commercial units to the north of the site. The local highway authority is satisfied with the proposal and the mitigation measures included and has stated that the

proposed development accords with paragraph 109 of the NPPF. This must be given significant weight. The site sitting as it does alongside the A14 with an excellent interchange connection is located on the all-important A14 that is set to underpin the Council's economic planning strategy until 2036. Even if the Council's strategy did not identify the A14 corridor as a focus for growth it is inevitable that the market would look for sites such as this because the logistics industry needs sustainable, well located, easily accessible sites such as this in order to thrive.

- 12.5 The fact that the site and its neighbouring business centres sit within close proximity to the A14 which is a major transport corridor means that this site and scheme is at a strategic local advantage that would provide substantial economic benefits within Min Suffolk.
- 12.6 The present covid-19 emergency has transformed how much of business is being conducted particularly in the retail sector. On-line commerce has grown substantially as a result of customers having until recently to 'stay home' and the ability of the logistics industry to adapt to that situation has helped drive that transformation. The Office of National Statistics [ONS] reported that in April 2020 online shopping as a proportion of all retail sales reached a record 30.7%¹. In July 2020 this percentage remained significant at 28.9%², compared to previous years which have seen online sales be at a steady 18.1%. This trend is likely to continue as people have now adjusted to the process and as working from home becomes a familiar part of working life.
- 12.7 Substantial weight needs to be attributed to the employment generation aspects of this proposal and the jobs it will stimulate particularly as the country emerges from the Coiv-19 emergency. These jobs fall into three main categories:
1. Temporary construction jobs associated with the erection and fitting out of the buildings and site;
 2. New jobs within the businesses that locate onto this part of the business park; and,
 3. Tertiary jobs associated with supporting those businesses. [e.g. local suppliers and services]
- 12.8 Within the context of the NPPF and the presumption in favour of sustainable development it certainly would deliver economic sustainability.
- 12.9 The proposed development would have a number of significant benefits including the delivery of a major quantum of employment land in a sustainable location. The proposed development would be located in an existing industrial/commercial area and would represent a sustainable form of development given the existing surroundings and wider area.
- 12.10 New jobs are likely to open up opportunities for local people which will result in an additional stimulus within the wider local economy if more people have the security of a job and a regular income. As a Local Service Centre Great Blakenham is expected to be the focus of development growth because it offers a sustainable location and a range of existing facilities to support that growth.
- 12.11 A buoyant employment sector will also help to deliver business rates which in turn can be invested in delivering local services thereby supporting communities.
- 12.12 Delivery of these units at the larger unit end of the spectrum will also ensure that facilities are provided within the District that cater for successful businesses that need largescale facilities to

¹ Office for National Statistics, Retail sales, Great Britain; April 2020 [www.ons.gov.uk]

² Office for National Statistics Retail sales, Great Britain: July 2020 [www.ons.gov.uk]

continue expanding. In this way the Council will be supporting the entire business sector from the smallest start-up units through to grow on space and up to the largest requirements from businesses. Being able to do this is likely to encourage businesses not just to come to Mid Suffolk but also stay in Mid Suffolk as their premises requirements change with success.

- 12.13 The proposed development will also deliver a package of highway improvements that will help to enhance accessibility not just from a vehicular perspective but also a pedestrian and cycle point of view.
- 12.14 Mid Suffolk's 'Open for Business Strategy' and the Council's collaborative approach continues to send a powerful message to the business community and developers of commercial floorspace that Mid Suffolk is a place worth investing in. This is essential if balanced sustainable communities are to evolve. A local economy that is driven by residential development alone will not deliver the life opportunities necessary to create places where people can live and work in a more sustainable way than is associated with high levels of out-commuting for jobs. By reducing the need for long distance commuting the Council will also be supporting greener travel.
- 12.15 The site will be able to accommodate buildings with a significant ridge height that reflect those previously agreed not just on this site but also within the immediate vicinity. At this stage however it is not appropriate to accept illustrative drawing with a notional height of 50m without first being able to assess size scale form and design.
- 12.16 If permission were to be granted there would be a small loss of agricultural land but this would not undermine the strategic aim of retaining good quality farmland. A loss of 3.7ha will not prejudice the structural ability of farmers to maintain production across the District.
- 12.17 It is also noted that whilst some existing habitat will be lost to accommodate this development some 46% of the site will be set aside for new landscaping which will bring about new opportunities to boost biodiversity.
- 12.18 In light of all of the above the proposal is considered to deliver a range and scale of public benefits and so the recommendation is for approval.

RECOMMENDATION

(1) Subject to the prior completion of a Deed of Variation to link this development to benefits arising from a previous S106 Agreement on the earlier phases of development at Port One and extend them to include additional space within the latest phase to the satisfaction of the Chief Planning Officer

Then:

(2) That the Chief Planning Officer be authorised to GRANT Outline Planning Permission subject to conditions as summarised below and those as may be deemed necessary by the Chief Planning Officer:

- Standard time limit
- Reserved Matters
- Approved Plans (Plans submitted that form this application)
- Phasing Condition (To allow phasing of the development and allows spreading of payments under CIL)
- Construction Management Statement

- Phasing of highway improvements to link delivery to completion of a specified number of units or two years from the date of commencement whichever is the earlier [to allow time to better understand and co-ordinate delivery with SnOasis works] and reference to S278.
- Condition stating that whilst layout at RM shall substantially accord with illustrative layout building heights will be a matter for detailed consideration at the time of RM and the reference to 50m ridge height is not approved as part of this outline pp.
- Specify uses approved
- Restrict permitted development and CoU options
- Once approved no mezzanine floors to be created within voidspace unless the subject of a fresh pp. {to ensure parking and servicing is delivered to match the intensification of use}
- No outside storage
- All external Lighting to be subject to submission of details
- Landscaping details and management plan
- Means of enclosure
- Waste collection details
- Hours of operation – Plot 9
- Construction hours
- Details including all external plant. Extracts, chimneys, exhaust ducting, fuel tanks, silos, apparatus and other such equipment to be provided at RM and no other shall be implemented without the written approval of the lpa
- EV charging points
- Showers and cycle parking
- Travel plan
- Swift boxes installation scheme to be agreed
- Hedgehog fencing scheme to be agreed
- SuDs conditions
- Energy and renewable integration scheme to be agreed
- Rainwater harvesting to be agreed
- Construction Management Plan to be agreed.

(3) And the following informative notes as summarised and those as may be deemed necessary:

- Pro active working statement
- SCC Highways notes
- Support for sustainable development principles

(4) That in the event of the Deed of Variation referred to in Resolution (1) above not being secured and/or not secured within 6 months the Chief Planning Officer be authorised to refuse the application on appropriate ground

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Application No: DC/20/01175

Location: Land Adj Port One Business And Logistics Park, Blackacre Hill, Bramford Road, Great Blakenham Suffolk IP6 0RL

Page No.

Appendix 1: Call In Request	<i>N/a</i>	
Appendix 2: Details of Previous Decision		
Appendix 3: Town/Parish Council/s	<i>Great Blakenham Parish Council Little Blakenham Parish Council Claydon Parish Council</i>	
Appendix 4: National Consultee Responses	<i>Highways England Natural England Historic England</i>	
Appendix 5: County Council Responses	<i>SCC Highways SCC Developer Contributions Suffolk Police – Design Out Crime SCC Fire & Rescue SCC Archaeology SCC Water & Floods Management</i>	
Appendix 6: Internal Consultee Responses	<i>Environmental Health – Sustainability Public Realm Heritage Team Economic Development & Tourism Environmental Health – Noise/Odour/Light/Smoke Ecology Landscape</i>	



Babergh and Mid Suffolk District Councils



Appendix 7: Any other consultee responses	<i>N/a</i>	
Appendix 8: Application Site Location Plan	<i>Yes</i>	
Appendix 9: Application Plans and Docs	<i>Yes</i>	
Appendix 10: Further information		

The attached appendices have been checked by the case officer as correct and agreed to be presented to the committee.



Consultee Comments for Planning Application DC/20/01175

Application Summary

Application Number: DC/20/01175

Address: Land Adj Port One Business And Logistics Park Blackacre Hill Bramford Road Great Blakenham Suffolk IP6 0RL

Proposal: Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping

Case Officer: Elizabeth Flood

Consultee Details

Name: Mrs Janet Gobey

Address:

Email: pc@greatblakenham.suffolk.gov.uk

On Behalf Of: Great Blakenham Parish Clerk

Comments

The Council is very concerned about the following:

The number and variety of trees that are due to be removed, especially as the southern boundary of the site has an attractive wooded area through which a footpath runs.

There are no details given of the height of the buildings or their elevation against the hill on the western edge of the site.

The high probability of twenty-four hour operation at the site which will bring light and noise pollution. It should be noted that the site is close to the Little Blakenham bat roost and further light pollution will have negative impact on the bat colony.

This development will only increase the risk of flooding on the B1113, a problem which has been well documented and is now a major hazard on the road during periods of heavy rain

Traffic the Council does not feel that there is enough clarity about the access on to and off the site on to the B1113. This road is already overloaded with traffic, which continues to grow as more industrial units and houses are built along both sides. The Council have repeatedly asked for a lower speed limit along the B1113 from the Suez site up to the Hackneys Corner junction as both the number of vehicles using the road and the number of junctions on to it continue to increase. The Council wants to put on record yet again that it is essential that a new traffic assessment is carried out before any more development (including this one) is approved and that this new assessment takes account of both recent and possible future developments (e.g. SnOasis).

DC/20/01175 Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping

Little Blakenham Councillors discussed this application and unanimously object to it in its current form for the following reasons:

The Council is extremely concerned about the height and scale of the buildings, especially as the site is on an upward slope from the B1113. The Council notes that there appear to be no drawings of the elevation of the building against the contour lines of the land and feels that it is impossible to understand how this will look from The Common without further detailed information. It is essential that further information and clarification is obtained from the developer before any decision is made, even if this means delaying any decision on the application. The Council is aware that part of the land was the subject of another planning application where height restrictions were put in place and believe that similar restrictions should be in place if this application is approved to prevent the buildings towering over the local area. Construction of the 20-metre high warehouse type buildings on an already elevated site, to the edge of the allocated site is not in the public interests and intends only to maximise floorspace without consideration of the locality. Elsewhere in the district, building of this scale are appropriately offset by being designed into low lying sites, to reduce their visual impact.

Traffic concerns - apart from staff driving to and from the site, there are an extremely high number of lorry parking areas and lorry movements per hour listed in the application. This will result in a huge increase in traffic on the B1113, a road which is already over capacity with long delays at rush hour. Additionally the entrance to the site will be close to the Suez incinerator entrance and close to the traffic lights beside the incinerator and adding yet another junction to a short stretch of the B1113 between the Suez junction and Hackneys Corner which increases the risk of accidents as more and more vehicles are attempting to turn in and out. This, of course, is additional to the massive increase in traffic that would be produced by any development on the SnOasis site.

Tree loss – the application involves the removal of many well-established trees and there is no indication that there will be sufficient replacements in that area of the site to offset this. The removal of a substantial amount of vegetation will further reduced the screening provided. In addition, vegetation is transient and beyond a five-year landscape condition the District Council cannot control the screening measures of the site. The Parish Council disagree with the assessment of the Landscape Officer, that the impact will be only to the immediate area. Wider vistas of this area are achieved from many points further afield.

Finally, the Council feels that a further development of this size and scale will mean that Port One would become a major business park and that the whole application needs to be thoroughly reassessed and further information must be obtained from the developer on these areas of concern before any decision is made.

It should be noted that the Parish Council were in support of the original application that provided a combination of unit sizes, however also respected the existing character of development AND worked with the site constraints, including site elevations and existing vegetation.

The implications of the Covid-19 pandemic are anticipated to result in an economic downturn, and the economic benefit of development in the area is noted, however it should

not be 'development at any cost'. The proposal does not provide a satisfactory alternative to that originally approved.

From: claywhit@btinternet.com <claywhit@btinternet.com>

Sent: 27 May 2020 09:48

To: BMSDC Planning Area Team Blue <planningblue@baberghmidsuffolk.gov.uk>

Subject: RE: DC/20/01175 - Land Adj Port One Business And Logistics Park, Blackacre Hill, Gt Blakenham

Good Morning,

Thank you for your email.

Parish Councillors do not have a comment on this development.

Best wishes,

Charmaine

Charmaine Greenan
Clerk and Responsible Finance Officer
Claydon and Whitton Parish Council



Developments Affecting Trunk Roads and Special Roads
Highways England Planning Response (HEPR 16-01)
Formal Recommendation to an Application for Planning Permission

From: Martin Fellows
Operations (East)
planningee@highwaysengland.co.uk

To: Mid Suffolk District Council

CC: transportplanning@dft.gsi.gov.uk
growthandplanning@highwaysengland.co.uk

Council's Reference: DC/20/01175

Referring to the planning application referenced above, dated 20 March 2020, application for the extension to Port One Business and Logistics Park, Port One Business and Logistics park, Blackacre Hill, Blakenham, notice is hereby given that Highways England's formal recommendation is that we:

- a) ~~offer no objection;~~
- b) ~~recommend that conditions should be attached to any planning permission that may be granted (see Annex A – Highways England recommended Planning Conditions);~~
- c) recommend that planning permission not be granted for a specified period (see Annex A – further assessment required);
- d) ~~recommend that the application be refused (see Annex A – Reasons for recommending Refusal).~~

Highways Act Section 175B ~~is~~ is not relevant to this application.¹

¹ Where relevant, further information will be provided within Annex A.

Date: 3 April 2020	
Signature:	
Name: Mark Norman	Position: Spatial Planning Manager
Highways England: Woodlands, Manton Lane Bedford MK41 7LW	
mark.norman@highwaysengland.co.uk	

Annex A Highways England recommended no objection

HIGHWAYS ENGLAND has been appointed by the Secretary of State for Transport as strategic highway company under the provisions of the Infrastructure Act 2015 and is the highway authority, traffic authority and street authority for the Strategic Road Network (SRN). The SRN is a critical national asset and as such we work to ensure that it operates and is managed in the public interest, both in respect of current activities and needs as well as in providing effective stewardship of its long-term operation and integrity.

This response represents our formal recommendations with regards to DC/20/01175 and has been prepared by Simon Willison. Highways England has reviewed the Transport Assessment and Interim Workplace Travel Plan (both referenced 1970/AF, dated March 2020) which have been prepared by Cottee Transport Planning on behalf of Team AB Services Limited for a proposed business park extension at Port One, off Addison Way, Great Blakenham.

Trip rates, distribution and assignment

Trip rates are in principal considered reasonable however it is observed that the baseline traffic surveys are based on 0740-0840 and 1620-1720 time periods whereas the trip rates have been obtained for 0800-0900 and 1700-1600.

It should be confirmed that 0740-0840 and 1620-1720 represent the peaks within the surveyed time periods. If this is the case, it is noted that the trip rates for 0800-0900 and 1700-1800 do not in all cases represent the peak development trip generation and in fact during the morning peak either the 0600-0700 or 0700-0800 period would be a more robust basis for estimating development trips.

TRICS should be able to provide half-hourly trip rates for 02 Employment land uses therefore a 0730-0830 may represent a more appropriate time period for obtaining trip rates which better aligns with the assumed peak observed traffic flows between 0740-0840.

It is appreciated that the consultant has performed additional rank order analysis using TRICS which can provide additional confirmation that the average trip rates are suitable. It is observed that the rank order list is based on 0800-0900 which aligns with the period used to obtain trip rates however by taking account the above comments it would be appropriate to re-run the rank order analysis which may provide different results.

It is noted that traffic routing towards the B1113 Bramford Road South from the proposed development will need to undertake a U-turn around the A14 interchange as the right turn from B1113 Bramford Road North is prohibited. The TA estimates that 29 development trips will route towards the development site in the AM peak by turning left from the B1113 Bramford Road South into B1113 Bramford Road North. In the PM peak, only 1 development trip is estimated to U-turn.

Clarification is required that all U-turners are accounted for in the PM peak as the flows presented potentially imply a different distribution and assignment has been assumed between the AM and PM peaks.

Traffic growth

Traffic growth has been calculated using DfT Temprow. Three forecast years have been selected – 2023, 2028 and 2030. It should be noted that Highways England typically requires an assessment over a period up to ten years after the date of registration of a planning application or the end of the relevant Local Plan whichever is the greater. This is referred to as the review period. The horizon year for Babergh Mid Suffolk's emerging Joint Local Plan is 2036.

On balance the approach taken to calculate traffic growth in Temprow is considered reasonable and it is observed that no NTM adjustment has been made within Temprow which would potentially double-count committed development trips which have instead been manually included in the assessment. In this particular instance therefore the 2030 forecast year is considered reasonable.

A14 J52 - ARCADY assessment

The TA includes a junction capacity assessment of A14 Junction 52 Claydon Interchange. The assessment has been carried out using the Junctions 9 ARCADY software module. Whilst it is recognised that the model was used to support a previous

planning application, a number of discrepancies have been identified in the new model.

The model has been set up as a standard roundabout as opposed to a large roundabout which would be more appropriate for this type of junction. By modelling it as a standard roundabout there is potential that capacity on the approaching arms, in particular the two A14 offslips, has been overestimated. We would also query a few of the geometric inputs.

For Arm 2 – A14 westbound offslip, the half-width is modelled as 6.35m however our checks indicate that it should be around 5.5m. Conversely, the entry width is modelled as 6.35m but our checks indicate that it is around 7m. The flare length should therefore be checked accordingly. The method for calculating the entry angle should be clarified for all arms, however on arm 2 the angle inputted to the model of 16 degrees is considered to be underestimated and should potentially be closer to 30 degrees. Account should be taken for the nearside hatching on the opposing circulatory which will influence the path of circulating vehicles and may therefore have a slight influence on how the entry angle is measured.

For Arm 5 – A14 eastbound offslip, the half width is modelled as 6.54m however our checks indicate that it should be around 5.5m. The entry width is considered appropriate however the flare length should be re-checked to take into account the adjusted half-width. As above, the approach to estimating entry angles should be clarified for all arms, however for arm 5 the angle inputted to the model of 12 degrees is considered to be underestimated and should potentially be closer to 20 degrees.

We acknowledge that the model presented indicates that the junction is operating comfortably within capacity in future years with development. It is nonetheless recommended that the points raised above are addressed and clarified to confirm that the model is a robust assessment and that the junction will be able to operate sufficiently with the proposed development in place.

Sustainable travel

The measures put forward in the workplace travel plan are considered reasonable. The proposed minibus (under the approved scheme) linking the development to nearby bus stops is a welcome proposal particularly if can be effectively timed alongside commercial bus services to provide a more seamless journey for employees and visitors travelling to/from the development by public transport, especially given that the 88 or 113/114 bus services are not very frequent. It would be helpful to clarify how long the developer/promotor will support the minibus service. Other incentives to use the commercial services may also be required in order to increase patronage on the minibus and make it more viable in the longer term.

There is a pedestrian route across the southern side of the A14 interchange, the main purpose of which is to link Paper Mill Lane (including the hotel) with Ipswich Road, Claydon. There is no onward provision for pedestrians onto Bramford Road between the A14 interchange and the B1113 Bramford Road North.

Through the implementation of the Travel Plan, the Travel Plan Coordinator should emphasise that in order to travel on foot between Claydon and the proposed development, that pedestrians will need to route via Station Road and Chapel Lane to the north, and avoid the A14 interchange even if this represents a longer walk. This should help to minimise any risk of pedestrians attempting to walk within the grass verge along Bramford Road or across the northern part of the A14 interchange where there is no footway provision which could be unsafe.

In light of the comments raised above, we therefore recommend that planning permission is not granted before 15th May 2020 to allow sufficient time for the above matters to be addressed. If all matters can be agreed sooner than this, we can then withdraw this recommendation and issue a definitive response.



Developments Affecting Trunk Roads and Special Roads

Highways England Planning Response (HEPR 16-01)

Formal Recommendation to an Application for Planning Permission

From: Martin Fellows
Operations (East)
planningee@highwaysengland.co.uk

To: Mid Suffolk District Council

CC: growthandplanning@highwaysengland.co.uk

Council's Reference: DC/20/01175

Referring to the planning application referenced above, dated 20 March 2020, application for the extension to Port One Business and Logistics Park, Port One Business and Logistics park, Blackacre Hill, Blakenham, notice is hereby given that Highways England's formal recommendation is that we:

- a) offer no objection;
- ~~b) recommend that conditions should be attached to any planning permission that may be granted (see Annex A – Highways England recommended Planning Conditions);~~
- ~~c) recommend that planning permission not be granted for a specified period (see Annex A – further assessment required);~~
- ~~d) recommend that the application be refused (see Annex A – Reasons for recommending Refusal).~~

Highways Act Section 175B ~~is~~ is not relevant to this application.¹

¹ Where relevant, further information will be provided within Annex A.

Date: 15 May 2020

Signature:

Name: Mark Norman

Position: Spatial Planning Manager

Highways England:

Woodlands, Manton Lane
Bedford MK41 7LW

mark.norman@highwaysengland.co.uk

Annex A Highways England recommended no objection

HIGHWAYS ENGLAND has been appointed by the Secretary of State for Transport as strategic highway company under the provisions of the Infrastructure Act 2015 and is the highway authority, traffic authority and street authority for the Strategic Road Network (SRN). The SRN is a critical national asset and as such we work to ensure that it operates and is managed in the public interest, both in respect of current activities and needs as well as in providing effective stewardship of its long-term operation and integrity.

This response represents our formal recommendations with regards to DC/20/01175 and has been prepared by Simon Willison.

This response represents our formal recommendations with regard DC/20/01175 and has been prepared by Simon Willison.

Highways England has reviewed the additional information (Technical Note 01) which was prepared by Cottee Transport Planning in response to a previous set of comments supplied by Highways England. The following aspects have been addressed in the additional information.

Trip rates, distribution and assignment

Additional information has been supplied which we consider now sufficiently demonstrates that the trip rates used are robust. No further comment or action is required on this topic.

We previously noted that traffic routing towards the B1113 Bramford Road South from the proposed development will need to undertake a U-turn around the A14 interchange as the right turn from B1113 Bramford Road North is prohibited, however

this did not appear to be accounted for in the PM peak assessment. We note that U-turners have been accounted for in additional modelling outputs presented.

A14 J52 - ARCADY assessment

We previously queried some of the geometric measurements and other model parameters used. We note that these have been mostly addressed in the additional modelling presented. Whilst the large roundabout separation distances appear to be overestimated, we are of the view that this is unlikely to materially affect the outputs of the model. The presented model results appear to show that the junction is predicted to operate within capacity with the proposed development trips. No further comment or action is therefore required on this topic.

Sustainable travel

We previously stated that we welcomed the proposals for sustainable travel, including the minibus shuttle. We recognise that more details confirming the operation of the minibus will be discussed in due course with the local highway authority, led by the site's Travel Plan Coordinator.

We raised some concern with the potential that people travelling on foot to/from the proposed development may choose to walk across the A14 J52 interchange. Whilst there is a footway across the southern side of this junction, there does not appear to be any safe means of walking between the junction and the proposed development. We are content with the consultant's assertion that the Travel Plan will include instructions for safe routes for pedestrians to use, and that they should avoid A14 J52.

In conclusion, we are satisfied that the comments and concerns we raised previously have been sufficiently addressed and therefore Highways England is now in a position to offer no objection.

NATURAL ENGLAND'S LOCAL PLANNING CONSULTATION ADVICE FOR DEVELOPMENT WITHIN OR NEARBY DESIGNATED SITES WITH BATS AS NOTIFIED FEATURES – version 1, January 2019

Natural England's initial screening of this planning application has identified that the proposed development has the potential to adversely affect a Site of Special Scientific Interest (SSSI)¹ designated for hibernating or breeding bats i.e. the relevant Impact Risk Zones have been triggered. As protected species bats are capable of being a material consideration in the determination of planning applications, in this case they form the notified interest of an SSSI and therefore it is section 28i of the Wildlife & Countryside Act 1981 (as amended) that is the relevant legislation in this case (i.e. for proposals with the potential to affect an SSSI).

Please note that this advice, where specifically referred to in our consultation response, only applies to development proposals within Essex, Hertfordshire, Bedfordshire, Cambridgeshire, Northamptonshire, Suffolk and Norfolk planning authorities.

Standing Advice

Natural England has produced [Standing Advice](#) on survey methods, mitigation, risk reductions and where necessary, compensation measures to avoid harming to bats or their habitat. Natural England has also produced [Standing Advice for review of applications](#) that we hope will assist you. We have also produced [Standing Advice for protected areas and sites](#). Given that Sites of Special Scientific Interest that have bats as notified features may have woodland, our [Standing Advice on Ancient woodland, ancient trees and veteran trees](#) may be relevant depending in the nature of the planning application.

Reasons for Notification of Sites of Special Scientific Interest (SSSI)

Background information on SSSIs and their notified features can be found on the [Magic website](#). Refer to the SSSI citation in order to understand the special interest of the SSSI and its sensitivities. Please note that this thematic advice note only covers bat *hibernating populations* and *maternity roosts* notified features: there may be other (non-bat) notified features present within the SSSI that will need assessing in addition.

Impacts on Bat SSSI Notified Features, which may need addressing

Bats use habitat features (such as hedgerows) and the wider landscape in different ways and different species have different requirements for feeding, breeding and hibernating. It is important to recognise that the 'zone of influence (ZOI)² of a planning application outside of a SSSI boundary may include areas that extend beyond the red line boundary of the application and may extend inside the boundary of the SSSI. Planning applications have the potential to have an impact upon the population of SSSI bats, particularly if the proposal involves modifying, destroying or creating the following habitats that are used for roosting, commuting and foraging:

- Trees (including hedge-rows and lines of trees);
- Underground sites (including caves, cellars, tunnels, basements etc); and
- Water features.

¹ SSSIs within the counties of Essex, Hertfordshire, Bedfordshire, Cambridgeshire, Northamptonshire, Suffolk and Norfolk are Hangman's Wood & Deneholes SSSI, Eaton Chalk Pit SSSI, Grime's Graves SSSI, Horringer Court Caves SSSI, Little Blakenham Pit SSSI, Stanford Training Area SSSI, and The Glen Chalk Caves, Bury St. Edmund's SSSI. Please note that this advice does not apply to consultations nearby or within Eversden and Wimpole Woods SSSI or Paston Great Barn SSSI. Please notes that other SSSI may also support bat populations, but these may not be notified features of the SSSI.

² Defined by the Chartered Institute of Ecology and Environmental Management in *Guidelines for ecological impact assessment in the UK and Ireland* (2016) as "the area over which ecological features may be subject to significant effects as a result of the proposed project and associated activities".

In addition, planning applications have the potential to disturb SSSI-notified bat species populations if they affect or change light levels at the SSSI or key commuting or foraging routes, or if the proposal may lead to an increase in access by people or animals to the SSSI.

The application submission should provide a proportionate set of evidence and conclusions regarding impacts on bats as notified features of the SSSI. These will usually be in the form of a SSSI Bat Survey report, and they should allow your planning authority to assess whether (and to what extent) any of the following impacts exist:

(i). Changes to bat roosting features at the SSSI

Bats may have maternity (summer) or winter (hibernation) roosts, and these can occur in buildings, bridge-like structures (including aqua- or via-ducts), trees and in underground sites. Therefore the conversion, modification or demolition of buildings or bridges (or the closure or obstruction to bat roost entrances/exits, usually at roof-level), the felling or pruning of trees that have bat roost features³, or alterations to access points of underground sites (e.g. artificial closing of an entrance to a cave) should be avoided. The Bat Survey Report should clearly evidence the locations of bat roosting features within the ZOI.

(ii). Changes to commuting flight paths and foraging habitats within the ZOI

Bats use landscape features to navigate and move around the area in order to commute to and from roosts and foraging areas. Certain 'flight paths' will be more important than others, and if these key flight paths are not fully known or mapped within the Bat Survey Report, further information should be sought (from the applicant, or from local bat experts - see advice below). Therefore, the felling of individual trees, severance or removal of treelines or hedgerows, changes to major water features such as ponds and waterways, should be avoided, as should changes in the site layout and local environment which affect the bats' ability to follow established flight-paths. The construction of roads that sever important flight path features or important foraging habitats (and may have artificial lighting) should be avoided.

(iii). Changes to vegetation cover within the SSSI boundary, or nearby

Vegetation cover can be critical in helping to stabilise temperature and humidity levels, and these levels are crucial for successful hibernation. The cutting or removal of structural vegetation (i.e. mature canopy trees, understorey vegetation, boundary hedgerows) within or nearby the SSSI boundary must be avoided.

(iv). Changes to levels of access

Access by people or animals – whether these are permitted or not - may increase disturbance or damage to important foraging vegetation and/or there may be direct impacts if hibernating bats are within reach of people (for example within a cave with unrestricted access). Bat in their roosts are sensitive to disturbance from temperature changes from human body heat, the use of torches etc. Planning applications must not increase public access to SSSI's notified for bats, and such SSSI's should not be counted towards open space provision, and should not be used to hold children's play facilities or dog-walking routes (for example), which should all be sited outside the SSSI boundary.

(v). Changes to lighting within the ZOI

Bats are sensitive to light levels, and changes to lighting within 50m⁴ of bat features such as lines of trees, woodland or waterbodies may affect their commuting behaviour, causing them to avoid previously used foraging areas or commuting flight paths. Natural darkness should

³ Different species have different preferences, and these can include hollow trees and branches, caves and underground structures, buildings (inside and outside, such as under roof- and ridge-tiles or boarding, or in roof-spaces).

⁴ This distance is derived from a 'trigger list' produced by the Bat Conservation Trust for LPAs, in turn derived from planning validation checklists produced by the Association of Local Government Ecologists. Please refer to p14 at https://cdn.bats.org.uk/pdf/Planning_Advice_Pack_for_website_2015.pdf?mtime=20181101151528

be maintained, and so light-spill onto the SSSI itself, or onto important roosting, commuting and foraging habitats, must be avoided. Lighting modelling studies should be commissioned if this is proposed, and the use of creative or novel lighting solutions encouraged, such as timers, motion-sensitive lights, light screens or shields, etc. Public footpaths and rights of way should be planned away from key bat areas, as they may typically require lighting for health and safety reasons. The Institution of Lighting Professionals has produced [Guidance Note 8 Bats and Artificial Lighting](#) which planning officers may find useful in considering the avoidance and mitigation of artificial lighting impacts on bats.

(vi). Changes to noise levels

Bats may be disturbed from rest by significant rise in noise levels during both daytime and night-time. Such impacts may be short-term during construction phases, and could originate from the noise of machinery and construction noise, etc. or they may be long-term because of the operational (ongoing) phase of the proposal.

Assessing or Uncertainty regarding impact to bats

Your planning authority should use the evidence provided to consider impacts to bats as a notified feature of the SSSI, and evaluate whether the recommended avoidance and mitigation measures are appropriate, and could be implemented and enforced. Should you conclude that insufficient information has been provided in order to enable you to determine whether or not bats as notified features of the SSSI may be affected, then you should request further information from the applicant. SSSI mitigation measures should be secured by suitably worded planning conditions or legal agreements.

Licensing

Regardless of Natural England's advice on SSSI issues, it is for the developer to decide whether a [Bat Mitigation Licence](#) will be needed to execute the planning permission in accordance with the protection of bats in law: the developer may need to engage specialist advice in making this decision. [Natural England's Pre-submission screening service](#) may be of assistance to the developer.

Authorisation, assent or consent for SSSIs does not absolve the need for a European protected species licence from Natural England where those activities would be otherwise unlawful. Bats are protected in their own right outside of their notification under SSSI protection. However, it is important to note that if the application requires planning permission, it is for the local planning authority to consider whether the permission would offend against Article 12(1) of the Habitats Directive, and if so, whether the application would be likely to receive a licence.

You should also seek environmental enhancement for as many of the impacts listed (i) – (vi) above. For example, the proposal could include enhancement to bat commuting flight lines through the planting of new hedgerows or the use of artificial hedgerows as temporary flight paths.

Additional advice

Should the applicant require substantive advice regarding their proposal, or should the planning authority seek additional advice on assessing the impacts of an application then consult the following sources:

1. In-house expertise. Your planning authority may have an in-house ecologist or a retained ecological consultant, from whom advice should be sought.

2. Local bat experts. Local bat experts and/or Local Bat Groups may be able to provide advice relating to bat behaviour and flight patterns in the area concerned. For contact details, see the [Bat Conservation Trust website](#).
3. Natural England's Discretionary Advice Service. For further information on this chargeable service, see the [guidance on Natural England's advice services on gov.uk website](#). Where impacts to SSSI's notified for bats are likely to be complex, the local authority is encouraged to advise the developer to apply for DAS.
4. Natural England's Pre-submission screening service (PSS). For further information on this chargeable service regarding planning proposals and protected species mitigation licences, see the [guidance on the PSS on gov.uk website](#).
5. Good Practice Guidelines. The Bat Conservation Trust have produced *Bat Surveys for Professional Ecologists: Good Practice Guidelines* that can be downloaded from the [Bat Conservation Trust website](#), and the [Chartered Institute of Ecology and Environmental Management website](#) has publications that may be useful.
6. Natural England's Additional Advice. Development provides opportunities to secure net gains for biodiversity and wider environmental gains, as outlined in the NPPF (paragraphs 8, 72, 102, 118, 170, 171, 174 and 175). We advise you to follow the mitigation hierarchy as set out in paragraph 175 of the NPPF and firstly consider what existing environmental features on and around the site can be retained or enhanced or what new features could be incorporated into the development proposal. Where onsite measures are not possible, you should consider off site measures. Opportunities for enhancement might include:

- Providing a new footpath through the new development to link into existing rights of way.
- Restoring a neglected hedgerow.
- Creating a new pond as an attractive feature on the site.
- Planting trees characteristic to the local area to make a positive contribution to the local landscape.
- Using native plants in landscaping schemes for better nectar and seed sources for bees and birds.
- Incorporating swift boxes or bat boxes into the design of new buildings.
- Designing lighting to encourage wildlife.
- Adding a green roof to new buildings.

You could also consider how the proposed development can contribute to the wider environment and help implement elements of any Landscape, Green Infrastructure or Biodiversity Strategy in place in your area. For example:

- Links to existing greenspace and/or opportunities to enhance and improve access.
- Identifying opportunities for new greenspace and managing existing (and new) public spaces to be more wildlife friendly (e.g. by sowing wild flower strips)
- Planting additional street trees.
- Identifying any improvements to the existing public right of way network or using the opportunity of new development to extend the network to create missing links.
- Restoring neglected environmental features (e.g. coppicing a prominent hedge that is in poor condition or clearing away an eyesore).



Averil Goudy
Babergh and Mid Suffolk District Councils
Endeavour House
8 Russell Road
Ipswich
IP1 2BX

23 March 2020

Dear Averil Goudy

**T&CP (Development Management Procedure) (England) Order 2015
& Planning (Listed Buildings & Conservation Areas) Regulations 1990**

**Land Adj Port One Business And Logistics Park, Blackacre Hill, Bramford Road,
Great Blakenham, Suffolk, IP6 0RL
Application No. DC/20/01175**

Thank you for your letter of 20 March 2020 regarding the above application for planning permission. On the basis of the information available to date, we do not wish to offer any comments. We suggest that you seek the views of your specialist conservation and archaeological advisers, as relevant.

It is not necessary for us to be consulted on this application again, unless there are material changes to the proposals. However, if you would like detailed advice from us, please contact us to explain your request.

Yours sincerely,

Joanne Robinson
Business Officer
Joanne.Robinson@HistoricEngland.org.uk



Your Ref:DC/20/01175
Our Ref: SCC/CON/3385/20
Date: 2 September 2020



All planning enquiries should be sent to the Local Planning Authority.

Email: planning@baberghmidsuffolk.gov.uk

The Planning Department
Babergh District Council
1st Floor
Endeavour House
8 Russell Road
Ipswich
Suffolk
IP1 1BX

For the attention of: Katherine Hale

Dear Katherine

TOWN AND COUNTRY PLANNING ACT 1990

CONSULTATION RETURN: DC/20/01175

PROPOSAL: Revised flood risk assessment 21/08/20, ref:

Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping

LOCATION: Land Adj Port One Business And Logistics Park Blackacre Hill Bramford Road Great Blakenham Suffolk IP6 0RL

Notice is hereby given that the County Council as Highway Authority make the following comments:

The Stage 1 Road Safety Audit report dated 07/08/20 highlights a number of minor problems with the proposal where the designer has commented these items will be considered during detailed design. This approach is acceptable.

With the proposed mitigation and contributions for highway improvements, we consider the proposal would not have an adverse impact on the public highway with regard to congestion, safety or parking. Therefore, the County Council as Highways Authority, does not wish to restrict the grant of permission.

Yours sincerely,

Samantha Harvey
Senior Development Management Engineer
Growth, Highways and Infrastructure

All planning enquiries should be sent to the Local Planning Authority.

Email: planning@babberghmidsuffolk.gov.uk

The Planning Department
MidSuffolk District Council
Planning Section
1st Floor, Endeavour House
8 Russell Road
Ipswich
Suffolk
IP1 2BX

For the attention of: Katherine Hale

Dear Katherine,

TOWN AND COUNTRY PLANNING ACT 1990

CONSULTATION RETURN: DC/20/01175

PROPOSAL: Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping

LOCATION: Land Adj Port One Business And Logistics Park Blackacre Hill, Bramford Road, Great Blakenham Suffolk IP6 0RL

We have reviewed the Technical Note 02 recently supplied with this application, the summary of our findings are as follows:

The Suffolk County Transport Model (SCTM) has been used to assess the car and HGV traffic distribution to and from the development during the AM and PM peak hours with the Snoasis development traffic flows included in the model. Addison Way/Bramford Road junction, B1113/Bramford Road signal junction and the A14 Claydon Interchange roundabout all operate within capacity. The site access operated above capacity during the peak hour periods therefore there is a proposal to introduce a signalised junction so the junction operates with spare capacity.

We note that the parish council have requested a reduced speed limit (30mph) to be introduced on Bramford Road. We consulted the Traffic Management Officer from the Police who has indicated that the existing speed limit, 40mph, is appropriate for the surroundings and the police would not support a lower speed limit here as it is unlikely to be followed without further traffic calming measures being introduced.

With the proposed mitigation and contributions for highway improvements, we consider the proposal would not have an adverse impact on the public highway with regard to congestion, safety or parking. Therefore, the County Council as Highways Authority, does not wish to restrict the grant of permission.

CONDITIONS

Should the Planning Authority be minded to grant planning approval the Highway Authority in Suffolk would recommend they include the following conditions and obligations:

Highway Mitigation Condition - detailed design of the mitigation measures on The Site Access/Bramford Road junction as indicated on Drawing No 1970/04C are to be submitted and approved by the highway authority. The approved scheme shall be laid out, constructed and made functionally available for use prior to occupation and thereafter retained in the approved form for the lifetime of the development.

Reason: To ensure that suitable highway improvements and mitigation measures are provided.

Footway Condition: The footway/cycleway to be provided in its entirety before the development is brought into use as indicated on Drawing No 1970/04C.

Reason: To ensure that suitable footways are provided to access the application site and to connect the sites with public rights of way and footway network.

Construction Condition: Before the development hereby permitted is commenced a Construction Management Plan shall have been submitted to and approved in writing by the Local Planning Authority. Construction of the development shall not be carried out other than in accordance with the approved plan. The Construction Management Plan shall include the following matters:

- haul routes for construction traffic on the highway network and monitoring and review mechanisms.
- provision of boundary hoarding and lighting
- details of proposed means of dust suppression
- details of measures to prevent mud from vehicles leaving the site during construction
- details of deliveries times to the site during construction phase
- details of provision to ensure pedestrian and cycle safety
- programme of works (including measures for traffic management and operating hours)
- parking and turning for vehicles of site personnel, operatives and visitors
- loading and unloading of plant and materials
- storage of plant and materials
- maintain a register of complaints and record of actions taken to deal with such complaints at the site office as specified in the Plan throughout the period of occupation of the site.

Reason: In the interest of highway safety to avoid the hazard caused by mud on the highway and to ensure minimal adverse impact on the public highway during the construction phase.

P 2 - Condition: Before the development is commenced, details of secure covered cycle storage shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be in accordance with Suffolk Parking Guidance 2019 and carried out in its entirety before the development is brought into use and shall be retained thereafter and used for no other purpose.

Reason: To promote the use of sustainable travelling alternatives within the area.

NOTES

The works within the public highway will be required to be designed and constructed in accordance with the County Council's specification. The applicant will also be required to enter into a legal agreement under the provisions of Section 278 of the Highways Act 1980 relating to the construction and subsequent adoption of the highway improvements. Amongst other things the Agreement will cover the specification of the highway works, safety audit procedures, construction and supervision and inspection of the works, bonding arrangements, indemnity of the County Council regarding noise insulation and land compensation claims, commuted sums, and changes to the existing street lighting and signing.

Yours sincerely,

Samantha Harvey
Senior Development Management Engineer
Growth, Highways and Infrastructure

Your ref: DC/20/01175
Our ref: Great Blakenham – land adjoining Port
One Business and Logistics Park, Blackacre
Hill, Bramford Road 46809
Date: 20 March 2020
Enquiries: Neil McManus
Tel: 07973 640625
Email: neil.mcmanus@suffolk.gov.uk

Averil Goudy,
Growth & Sustainable Planning,
Babergh and Mid Suffolk District Councils,
Endeavour House,
8 Russell Road,
Ipswich,
Suffolk,
IP1 2BX

Dear Averil,

**Great Blakenham: land adjoining Port One and Logistics Park, Blackacre Hill,
Bramford Road**

I refer to the proposal: application for outline planning permission (access to be considered) – extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation, and landscaping.

I have no comments to make on this application, but I have copied to colleagues who deal with highways, floods planning, and archaeological matters as they will have comments to make.

Yours sincerely,

Neil McManus BSc (Hons) MRICS
Development Contributions Manager
Growth, Highways & Infrastructure Directorate – Strategic Development

cc Sam Harvey, Suffolk County Council
Floods Planning, Suffolk County Council
Suffolk Archaeological Service



SUFFOLK CONSTABULARY



Phil Kemp
Design Out Crime Officer
Bury St Edmunds Police Station
Suffolk Constabulary
Raingate Street, Bury St Edmunds
Suffolk
Tel: 01284 774141
www.suffolk.police.uk

Planning Application DC/20/01175

SITE: Extension to Port One Business PARK Blackacre Hill, Bramford, Gt Blakenham, IP6 0RL

Applicant: Curzon De Vere Ltd. The Octagon Suite E2, Colchester, CO2 1TG

Planning Officer: Averil GOUDY

The crime prevention advice is given without the intention of creating a contract. Neither the Home Office nor Police Service accepts any legal responsibility for the advice given. Fire Prevention advice, Fire Safety certificate conditions, Health & Safety Regulations and safe working practices will always take precedence over any crime prevention issue. Recommendations included in this document have been provided specifically for this site and take account of the information available to the Police or supplied by you. Where recommendations have been made for additional security, it is assumed that products are compliant with the appropriate standard and competent installers will carry out the installation as per manufacturer guidelines. Suppliers of suitably accepted products can be obtained by visiting www.securedbydesign.com.

Dear Ms GOUDY

Thank you for allowing me to provide an input for the above Planning Application for the proposed development extension to Port One, Business Park, Blackacre Hill, Gt Blakenham.

On behalf of Suffolk Constabulary, I have viewed the available plans regarding this proposed application and would like to register the following comments and concerns with regards to Section 17 of the Crime and Disorder Act.

It is noted that this is an outline planning application and more in-depth details will follow through further proposals, as a result it is hard to make specific in-depth comments.

It is recommended that the development seeks to achieve Secured by Design SBD Commercial certification at www.securedbydesign.com and at SBD commercial 2015 Version 2, as per this link. http://www.securedbydesign.com/wp-content/uploads/2015/05/SBD_Commercial_2015_V2.pdf

Secured by Design (SBD) is an initiative based upon principles of "**designing out crime**" incorporating the latest security standards to address emerging criminal methods of attack. SBD has been proven to reduce the opportunity for crime and the fear of crime, creating safer, more secure and sustainable environments.

General advice around commercial business security can also be found on the Secured by Design Website through this link: <http://www.securedbydesign.com/crime-prevention-advice/secure-your-business/>

I would be very pleased to work with the agent and/or the developer to ensure the proposed development incorporates the required elements.

This is the most efficient way to proceed with commercial developments and is a partnership approach to reduce the opportunity for crime and the fear of crime.

If anything of a sensitive or security nature will be housed or part of the business on site, it is strongly suggested that Suffolk Police's Counter Terrorism Security Advisor is contacted and advice sought in regards to counter terrorism measures for that particular building. They can be contacted via this email: CTSA@norfolk.pnn.police.uk

Should the development be subject to "BREEAM" certification and if any further assistance such as security recommendations are needed to comply with "HEA06", I would be happy to assist.

The area is around the outskirts of Ipswich with a diversified variety of differing business types and tends to suffer from higher crime levels.

A development like this will undoubtedly bring with it thefts. **It cannot be stressed enough therefore of the need to get security right at the start with good perimeter security, good security at the entrance and good security for all around the commercial units.**

1.0 The following recommendations are in accordance with SBD Commercial 2015 V 2 guidance:

1.1 Security requirements for any new, or existing commercial building will be influenced by the following factors:

- a) **The location and surrounding area.**
- b) **The hours of business operation.**
- c) **The type of business.**
- d) **The number of employees working on site and others visiting the site.**
- e) **Transport links to and from the site.**

1.2 There are five main reasons for providing security for such a development:

- a) **To mark a boundary** to make it obvious what is private and public property.
- b) **Provide safety** for employers and employees.
- c) **Prevent casual intrusion** by trespassers.
- d) **Prevent casual intrusion** onto the site by criminals.
- e) **Reduce the wholesale removal** of property from the site by thieves.

2.0 Perimeter Area - The police always advise that security should be layered with a number of security measures factored in that will increase the time it takes an offender to enter an area and provide strong evidence to identify that offender as soon as possible, rather than just relying on one main security measure. Depending on the size of the individual property and hours of work, if possible it is advisable to have security barriers at the entrance to each business location, that could either be on a dedicated silent hours timer, or controlled from a main viewing area within the complex, such as a main reception.

2.1 It is also advisable to look at the “Safer Places” document, that outlines in detail security advice for protecting buildings and people from untoward acts. Further information can be found using the following link: https://designforsecurity.org/downloads/Safer_Places_02.pdf

2.2 Surveillance of and over the site from the surrounding area, i.e. streets, footways and occupied buildings can help to deter potential offenders who may fear that their presence on the site will be reported to the police. It is therefore recommended that, where appropriate, security fencing systems are transparent to facilitate observation from outside the site and efforts are made by the occupiers to develop good relationships with their neighbours (as stated within the Design access Statement (DAS)). The use of dark coloured coatings on metal fencing systems reduces the reflection of light and makes it easier for passers-by to observe activity through the fencing.

2.3 The fence line should be at a recommended height of 2.4m. The materials should act as a strong security deterrent. Secure By Design recommends that fencing should meet at least LPS1175 Issue 7 SR1, or Sold Secure Gold Standard. This, however, depends on the nature of the crime risk for the particular establishment and in this case, it is recommended that at least Security Rating 2 (SR2), preferably SR3 is implemented, as it can withstand at least 5 minutes of constant attack. The Loss Prevention Certification Board (LPCB) is a main independent tester of products and tests to security ratings from 1-8. Examples of the preferred fencing are pictured right. For further details use the following link: <http://www.redbooklive.com/download/pdf/LPS1175.pdf> (SBD Commercial 2015 V2, page 33, para 43.16 refers).



2.4 **Security fencing** is effective at delaying or deterring intrusion because of the need to climb over or penetrate the fence. It is therefore important that there are no structures close to or over the fence that will aid climbing, e.g. trees, lamp columns or buildings.

2.5 Security fencing materials may include welded mesh and expanded metal available in numerous coloured coatings, which are sometimes used in conjunction with timber. Railings of various designs can be used to good effect and all fencing types can be fitted with toppings to deter climbing. Whilst SBD recommends that security fencing should be effective without creating a 'fortress' impression it is accepted that certain business locations or business operations may actively seek to promote the security of their premises and hence utilise fencing that creates a strong visual deterrent. (SBD Commercial 2015 V2, pages 14-17, paras 14.1-16.7 refers).



2.6 It is also strongly recommended that the fence line has hostile toppings, as it will be 2.4m high, an example of a typical preferred topping is pictured right.

2.7 Further advice on Secure By Design police tested and approved perimeter security products can be found at <https://www.securedbydesign.com/member-companies/accredited-product-search?view=category&category=Physical+Perimeter+Security>

3.0 **Pedestrian Routes** Pedestrian routes to and around the buildings should be designed in a way that ensures they are visually open, direct, and likely to be safe to use.

4.0 **BUILDINGS EXTERNAL DOOR SET APERTURES:**

It is important that the door set apertures are protected. Door security should meet the following minimum standards:

- PAS 24:2012
- LPS 1175: Issue 7,SR2
- STS 201 or STS 202: Issue 3, BR2

Recessed doorways should, where possible, be avoided as they provide opportunities for crime and anti-social behaviour i.e. graffiti, arson and burglary. In the event that the building design or location requires such recesses efforts should be made minimize such negative consequences. This may include a requirement for higher security rated door-sets, door-sets and surrounding building material to be fire retardant and anti-graffiti surface treatments to be applied to both. (SBD Commercial 2015 V2, pages 43-45, para 56.1 – 57.4 refers).

4.1 **Should the front of any buildings need reinforcing then it is suggested that some sort of anti-ram raid measures should be sort, this could be security bollards, or more aesthetically pleasing security planters, or even some kind of boulder formation, (pictured right).** Further information on security bollards can be found at <http://www.frontierpitts.com/products/all-products/> (SBD Commercial 2015 V2, page 34, para 45.1–45.3 refers).



4.2 **Doors – Any door must comply with the minimum acceptable specification.** - ALL new external doors including Fire Escapes, should be security tested and third party certified to PAS24-2012 or a minimum LPS1175 SR2 (preferably SR3). There eight Security Ratings (SR) This includes emergency egress doors, whether electronically or mechanically secured.

5.0 **GLAZING:**

5.1 **Security glazing:** All ground floor and easily accessible glazing must incorporate one pane of laminated glass to a minimum thickness of 6.4mm or glass successfully tested to BS EN 356:2000 *Glass in building. Security glazing - resistance to manual attack* to category P1A unless it is protected by a roller shutter or grille. The Secured by Design requirement for all laminated glass in commercial premises is certification to BS EN 356 2000 rating P1A unless it is protected by a roller shutter or grille. (SBD Commercial 2015 V2, page 45, paras 58.1 – 58.5 and page 46, Section 60 refer).

5.2 **Glazing within door-sets and secure vision panels:** All glazing in and adjacent to doors must include one pane of attack resistant glass that is securely fixed in accordance with the manufacturer's instructions.

- 5.3** Where glazed panels are installed adjacent to the door-set and are an integral part of the doorframe then they should be tested as part of the manufacturer's certificated range of door assemblies. Alternatively, where they are manufactured separately from the doorframe, they shall be certificated to either:
- PAS24: 2012 or STS 204
 - LPS 1175: Issue 7, at a Security Rating to match the door-set **or**
 - STS 202: Issue 3, at a Burglary Rating to match the door-set
- 6.0 Roof Design** - Preventing easy access to roofs needs to be considered at the design stage of the building. It is taken that all external rainwater pipes will be square in section and flush fitted against the wall, with minimal bends in pipes and horizontal runs that are of fire-resistant material (galvanised steel).
- 7.0 ACCESS CONTROL:**
Access control from main entrances to stairs/lifts toilets and further areas of the building must be limited and controlled. SBD Commercial 2015 V2, Sections 36-38 entitled "Internal Layout issues" at pages issues Section 36,37,38, provides guidance in regards to this.
- 8.0 BUILDING SHELL:**
Guidance around the new building can be found in Part 2 Building Shell Security (sections 50-59) of SBD Commercial 2015 V2.
- 9.0 Wall construction**
Due to the remoteness of some industrial and warehouse units and or reduced activity at night and over the weekends on industrial sites some buildings become prone to criminal attack through the wall, bypassing security doors and shutters. The walls should be designed to withstand such attacks and materials resistant to manual attack or damage should be used to ensure the initial provision of security. One particular measure could be to place welded mesh or Ex-Mesh on the inside of the walls. (SBD Commercial 2015 V2, pages 40 – 41, para 50.1 – 51.5 refers). Further advice on Secure By Design police tested and approved building security, glazing, grilles and shutter products can be found at: <https://www.securedbydesign.com/member-companies/accredited-product-search?view=category&category=Building+Shell%2C+Glazing%2C+Grilles+%26+Shutters>
- 10.0 Entrances into Buildings and Reception Areas**
Access beyond reception areas should be controlled using automatic locking doors, or barriers controlled by the receptionists and reception desks should provide the receptionist with a clear view of the waiting area, the approach to the entrance door and have restricted access from the public side. (SBD Commercial 2015 V2, pages 25-27, paras 36.1-37.7 refers).
- 11.0 INTERNAL DOOR SETS:**
In regards to office areas as a general rule all internal door sets should be fitted with locking furniture so that they can be locked when the room is left unoccupied.
- 12.0 Roller Shutters**
- 12.1** Grilles and shutters can provide additional protection to both internal and external doors and windows. The minimum standard for such products, when required, is certification to
- LPS 1175: Issue 7 Security Rating 1 or 3 (Again SR3, or at least SR2 is preferred).
- 12.2** For roller shutters, the above minimum-security ratings are generally sufficient where:
- a shutter is required to prevent minor criminal damage and glass breakage **or**
 - the shutter is alarmed and the building is located within a secure development with access control and security patrols **or**
 - the shutter or grille is intended to prevent access into a recess **or**
 - the door or window to be protected is of a high security standard in its own right. (SBD Commercial 2015 V2, page 41, paras 52.1 – 52.4 refers).
- 12.3** Roller shutter doors providing access for deliveries and other apertures where no other door is present must be certificated to a minimum of:
- LPS 1175 Issue 7, Security Rating 2 (Again SR3 or at least SR2 is preferred). (SBD Commercial 2015

V2, page 41, para 53.1 – 53.3 refers). Further advice on Secure By Design police tested and approved vehicular roller shutter doors can be found at: <https://www.securedbydesign.com/member-companies/accredited-product-search?view=category&category=Garage+Doors+%26+Vehicular+Roller+Shutter+Doors>

13.0 LIGHTING:

Lighting should be designed as per BS5489:2013 standards. (SBD Commercial 2015 V2, pages 28-29, paras 39.1- 40.2 and <https://www.theilp.org.uk/documents/crime/lightingagainstcrime.pdf> refers).

13.1 Roads and segregated footpaths for adopted, private roads, footpaths and car parks must comply with BS5489:-1:2013. Bollard lighting is not compliant with BS5489:-1:2013, as it does not give sufficient light at the right height to aid the reduction of the fear of crime, as they do not light people's faces sufficiently. (SBD Commercial 2015 (V2), page 12, at para 11.1 refers).

13.2 The colour rendering qualities of lamps used in an SBD development should achieve a minimum of 60Ra on the colour rendering index.

13.3 **Internal Lighting:** (SBD Commercial 2015 (V2), page 28, paras 40.1-40.2 refers).

14.0 INTRUDER ALARMS AND CCTV:

14.1 **Alarm System** - The alarm should be a **NACOSS gold monitored alarm that conforms to recognised intruder alarm standards including BS4737 BS6799 DD243 and EN50131 (PD662:2004 – Scheme for the application of European standards for intruder and hold up alarm systems) and ACPOSSG requirements. All fire doors should be alarmed too.** For police response, the system must comply with the requirements of the Security Systems policy, which can be found at www.securedbydesign.com (SBD Commercial 2015 V2, page 49, para 64.1 – 64.3 refers). <http://www.suffolk.police.uk/sites/suffolk/files/securityalarmsalarmspolicy1.pdf>).

14.2 It is strongly recommended that there is CCTV coverage around the site and that ANPR cameras should also be considered. Further information on ANPR cameras can be found at the national police web site at: <https://www.police.uk/information-and-advice/automatic-number-plate-recognition/>

14.3 **The CCTV system should be of a good high definition quality, be able to store images for at least 28 days and be easily transferable to assist in any police identification or evidence gathering cases.** CCTV systems should be installed to BSEN 50132-7:2012+A1:2013. (SBD Commercial 2015 V2 at pages 38-40, para 49.1 – 49.10 refers).

14.4 Any CCTV system should be registered with the Information Commission Office (ICO) at <https://ico.org.uk/for-organisations/>

15.0 VEHICLE AND CYCLE PARKING:

15.1 In line with Suffolk Guidance for Parking and Secure by Design principles secure motorcycle, moped and scooter parking should be available for staff. Such parking provision should benefit from surveillance from within the complex and through formal CCTV coverage.

15.2 In order to encourage cycling to work and therefore reduce car journeys secure bicycle parking should be provided with stands to which the bicycles can be secured and preferably in **view from the main office/reception area.** (SBD Commercial 2015 V2, page 35, para 20.8-20.11 refers).

15.3 The cycle stand must facilitate the locking of both wheels and the crossbar. Minimum requirements for such equipment are:

- Galvanised steel bar construction (minimum thickness 3mm) filled with concrete
- Minimum foundation depth of 300mm with welded 'anchor bar'.

15.4 All cycle racking should be to at least Sold Secure Bronze, preferably Sold Secure Gold standard For external stands the Sheffield hoop stand is the preferred style. The Sheffield stand with the strengthening cross strut is a compliant (3-point locking) product. Further advice on Secure By Design police tested and approved bicycle and motor cycle security can be found at:

- 15.5** Clear signage and defined routes from the site entrance to reception areas, car parks and delivery points should be provided. Also, identifiable parking for staff only should be in view of occupied offices where possible. Please refer to Section 1, 19 and 20 of SBD Commercial 2015 V2 for full guidance.
- 8.4** It is recommended that a Park Mark accreditation is sought in order to reduce crime and the fear of crime in parking facilities. Further details are in Section 20.6 of SBD Commercial 2015 V2 and www.parkmark.co.uk .
- 16:0 LANDSCAPING:**
- 16.1** Maintenance and management programme is implemented for the future care of boundary hedgerows and trees. Areas that are obstructed by view from the road, by trees should be opened to allow natural surveillance. The planting design takes full account of opportunities for crime and should not impede the opportunity for natural surveillance. The selected use of plants such as spiny or thorny shrubs can help prevent graffiti, casual approaches to the external face of the building, loitering and create or enhance perimeter security. Plant growth below 500mm will be required in respect to car parks to deter vehicle interference.
- 17.0 STORAGE FACILITIES:**
- 17.1** In regards to fuel, equipment, external waste and cleaning equipment storage that will occur within the businesses and potentially attract offenders, or provide the opportunity for climbing aids to buildings, Section 26 of SBD Commercial 2015 V2 is applied.
- 18.0 OUTDOOR AMENITY SPACE:**
- 18.1** It is recommended that outdoor seating areas and other recreational spaces provided for the use of the employees or public must be carefully planned. It must be within view of occupied rooms from surrounding buildings. Recreation spaces may encourage trespass outside of normal business hours and may require additional fencing or other security measures. See SBD Commercial 2015 V2 Section 6.1 for further details.
- 18.2** Project Argus Professional is aimed at encouraging architects, designers and planners to consider counter terrorism protective security measures within the built environment at the concept design stage. It encourages debate and demonstrates that counter terrorism measures can be designed into structures and spaces to create safer crowded places. It is fully supported by the various organisations associated with these professionals.
- 19.0 REFERRALS**
- 19.1** **One of the main aims stated in the Babergh and Mid Suffolk Core Strategy Development Plan Document of 2008 (updated in 2012) at Section 1, para 1.19.**
- 19.2** **Section 17 of the Crime and Dis-Order Act outlines** the responsibilities placed on local authorities to prevent crime and dis-order.
- 19.3** **The National Planning Policy Frame work on planning policies and decisions to create safe and accessible environments, laid out in chapter 8, para 91b and chapter 12, para 127f, in that developments should create safe places, inclusive and accessible which promote health and well-being, with a high standard of amenity for users; and where crime and disorder, and the fear of crime do not undermine the quality of life or community cohesion and resilience.**
- 19.4** **Department for Transport – Manual for Streets (Crime Prevention)** The layout of a residential area can have a significant impact on crime against property (homes and cars) and pedestrians.
- 20.0** **CRIME STATISTICS FOR THE SURROUNDING GREAT BLAKENHAM IP6 0RL POST CODE AREAS**
- 20.1** **Crime statistics are usually obtained from the Suffolk Police Crime computer base and the**

Crime Mapper site through Police UK, however, during the current Corona Virus outbreak this mapper site has been temporarily suspended. **This site is available to public access, so if in future a further analysis is required the information can be obtained using the following link:** www.police.uk

20.2 The statistics right show a breakdown of crimes locally recorded, between 1st April 2018 to 31st March 2020, totalling 92 offences, the majority involving theft from motor vehicles totalling 25 offences, followed by 14 offences involving theft in general. This does not take into account the number of times members of the public have called in to report matters for information only.

Recorded Crimes around IP6 ORL Area for period 1 st April 2018 to 31 st March 2020	Crimes for 1 st April 2018 to 31 st March 2019	Crimes for 1 st April 2019 to 31 st March 2020
Burglary	4	2
Theft	5	9
Theft of pedal cycle	nil	nil
Theft of Motor	1	nil
Theft from Motor	14	11
Criminal Damage to Vehicle	1	1
Criminal Damage	3	nil
Arson	1	nil
ASB/ Public Order	5	9
Assaults	7	7
Taking a Vehicle without consent	nil	nil
Drugs	nil	3
Domestic related	nil	nil
Other offences	5	4
Grand Totals	46	46

20.2 It should be noted that the area around Great Blakenham village hall suffers from bouts of antisocial driving behaviour.

21.0 SECURE BY DESIGN (SBD)

An early input at the design stage is often the best way forward to promote a partnership approach to reducing the opportunity for crime and the fear of crime.

Secured by Design aims to achieve a good overall standard of security for buildings and the immediate environment. It attempts to deter criminal and anti-social behaviour within developments by introducing appropriate design features that enable natural surveillance and create a sense of ownership and responsibility for every part of the development.

Experience shows that incorporating security measures during a new build or a refurbishment project reduces crime, fear of crime and disorder.

The role of the Designing Out Crime Officer (DOCO) within Suffolk Police is to assist in the design process to achieve a safe and secure environment for residents and visitors without creating a 'fortress environment'.

I would further strongly advise the developers seek Secure by Design National Building Approval membership from Secure by Design (SBD). Further details can be found at the following link: <http://www.securedbydesign.com/sbd-national-building-approval/>

I would like to see the development, or at least the affordable housing built to **SBD commercial 2015 Version 2** SBD New Homes 2019 accreditation. Further information on SBD can be found at www.securedbydesign.com

A further downloadable document can be obtained using the following link: http://www.securedbydesign.com/wp-content/uploads/2015/05/SBD_Commercial_2015_V2.pdf

22.0 POINTS OF REFERENCE FOR FURTHER SECURITY ADVICE

- 1) **British Security Industry Association (BSIA) on Access Control at** https://www.bsia.co.uk/Portals/4/Publications/form_132_specifiers_guide_access_control_Issue3.pdf
- 2) Frontier Pitts regarding pedestrian control, offering advice on turn styles and security bollards at https://directory.ifsecglobal.com/40/product/01/06/33/Pedestrian_Control_Product_Guide.pdf
- 3) **BSIA guide to procuring alarms systems at** <https://www.bsia.co.uk/Portals/4/Publications/279-procuring-security-alarm-systems-services.pdf>
- 4) **BSIA guide to CCTGV surveillance Systems at** <https://www.bsia.co.uk/Portals/4/Publications/120-maintenance-cctv-surveillance-systems-cop.pdf>
- 5) **National Counter Terrorism Security Office (NACTSO) offering advice on: Night Time Economy: Cinemas and Theatres: Stadia & Arenas: Retail: Health: Education: Places of**

Worship: Hotels & Restaurants: Major Events: Visitor Attractions: Commercial Centres and Transport at

https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/619411/170614_crowded-places-guidance_v1.pdf

- 6) Home Office document entitled **Protecting Crowded Places: Design and Technical Issues** https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/302016/DesignTechnicalIssues2014.pdf
- 7) Pilkington **Security/Safety Glass** at <https://www.pilkington.com/en-gb/uk/products/product-categories/safety-security>

23.0 **FINAL CONCLUSION**

To reiterate, concerns around this development are:

- a) The perimeter needs to have strong security (pages 2-3, paras 2.0-2.7 refer).
- b) If possible, each individual location should have a barrier to control vehicle access and protect the location during the silent hours, (page 2, paras 2.0 refers).
- c) Pedestrian routes around each business location need to be designed in such a way that ensures they are visually open, direct and safe to use, (page 3, paras 3.0 refers).
- d) All doors should meet minimum Secure By Design Criteria (page 3, paras 4.0 and 4.2 refer).
- e) All glazing should meet minimum Secure By Design Criteria (pages 3-4, paras 5.0-5.3 refer).
- f) Access of entrance areas needs to be controlled and securable. Reception areas for staff in particular need to be protected and staff allowed good surveillance of the main entrance and reception areas, (page 4, paras 7.0 and 10.0 refer).
- g) Wall Construction needs to be able to withstand intrusion, (page 4, para 9.0 refers).
- h) Roller Shutters should be installed to standards that will protect the buildings from intrusion, (page 4, paras 12.1-12.3 refers).
- i) Each business location needs to have a good alarm system, adequate CCTV and if possible Automated Number Plate Readers (ANPR) included to protect staff and customers, (page 5, paras 14.0-14.4 refer).

If you wish to discuss anything further or need assistance with an SBD application, please contact me on 01284 774141.

Yours sincerely

Phil Kemp, Designing Out Crime Officer
Western and Southern Areas,
Suffolk Constabulary,
Raingate Street,
Bury St Edmunds

Mid Suffolk District Council
Planning Department
Endeavour House
Russell Road
Ipswich
IP1 2BX

Fire Business Support Team
Floor 3, Block 2
Endeavour House
8 Russell Road
Ipswich, Suffolk
IP1 2BX

Your Ref:
Our Ref: FS/F216191
Enquiries to: Water Officer
Direct Line: 01473 260588
E-mail: Fire.BusinessSupport@suffolk.gov.uk
Web Address: <http://www.suffolk.gov.uk>

Date: 15/04/2020

Dear Sirs

Land adjacent Port One Business & Logistics Park, Blackacre Hill, Bramford Road, Great Blakenham IP6 0RL

Planning Application No: DC/20/01175/OUT

**Hydrants are required for this development
(see our required conditions)**

I refer to the above application.

The plans have been inspected by the Water Officer who has the following comments to make.

Access and Fire Fighting Facilities

Access to buildings for fire appliances and firefighters must meet with the requirements specified in Building Regulations Approved Document B, (Fire Safety), 2006 Edition, incorporating 2010 and 2013 amendments Volume 1 - Part B5, Section 11 dwelling houses, and, similarly, Volume 2, Part B5, Sections 16 and 17 in the case of buildings other than dwelling houses. These requirements may be satisfied with other equivalent standards relating to access for fire fighting, in which case those standards should be quoted in correspondence.

Suffolk Fire and Rescue Service also requires a minimum carrying capacity for hard standing for pumping/high reach appliances of 15/26 tonnes, not 12.5 tonnes as detailed in the Building Regulations 2000 Approved Document B, 2006 Edition, incorporating 2010 and 2013 amendments.

Water Supplies

Suffolk Fire and Rescue Service recommends that fire hydrants be installed within this development on a suitable route for laying hose, i.e. avoiding obstructions. However, it is not possible, at this time, to determine the number of fire hydrants required for fire

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fighting purposes. The requirement will be determined at the water planning stage when site plans have been submitted by the water companies.

Sprinklers Advised

Suffolk Fire and Rescue Service recommends that proper consideration be given to the potential life safety, economic, environmental and social benefits derived from the provision of an automatic fire sprinkler system. (Please see sprinkler information enclosed with this letter).

Consultation should be made with the Water Authorities to determine flow rates in all cases.

Should you need any further advice or information on access and fire fighting facilities, you are advised to contact your local Building Control in the first instance. For further advice and information regarding water supplies, please contact the Water Officer at the above headquarters.

Yours faithfully

Water Officer

Suffolk Fire and Rescue Service

Enc: Hydrant requirement letter

Copy: nick.davey@jtspartnership.co.uk

Enc: Sprinkler information

Mid Suffolk District Council
Planning Department
Endeavour House
Russell Road
Ipswich
IP1 2BX

Fire Business Support Team
Floor 3, Block 2
Endeavour House
8 Russell Road
Ipswich, Suffolk
IP1 2BX

Your Ref:
Our Ref: ENG/AK
Enquiries to: Mrs A Kempen
Direct Line: 01473 260486
E-mail: Angela.Kempen@suffolk.gov.uk
Web Address: www.suffolk.gov.uk

Date: 15 April 2020

Planning Ref: DC/20/01175/OUT

Dear Sirs

RE: PROVISION OF WATER FOR FIRE FIGHTING
ADDRESS: Land adjacent Port One Business & Logistics Park, Blackacre Hill, Bramford Road, Great Blakenham IP6 0RL
DESCRIPTION: Retail Units
HYDRANTS REQUIRED

If the Planning Authority is minded to grant approval, the Fire Authority require adequate provision is made for fire hydrants, by the imposition of a suitable planning condition at the planning application stage.

If the Fire Authority is not consulted at the planning stage, or consulted and the conditions not applied, the Fire Authority will require that fire hydrants be installed retrospectively by the developer if the Planning Authority has not submitted a reason for the non-implementation of the required condition in the first instance.

The planning condition will carry a life term for the said development and the initiating agent/developer applying for planning approval and must be transferred to new ownership through land transfer or sale should this take place.

Fire hydrant provision will be agreed upon when the water authorities submit water plans to the Water Officer for Suffolk Fire and Rescue Service.

Where a planning condition has been imposed, the provision of fire hydrants will be fully funded by the developer and invoiced accordingly by Suffolk County Council.

Until Suffolk Fire and Rescue Service receive confirmation from the water authority that the installation of the fire hydrant has taken place, the planning condition will not be discharged.

Continued/

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Should you require any further information or assistance I will be pleased to help.

Yours faithfully

Water Officer

Suffolk Fire and Rescue Service

Resource Management
Bury Resource Centre
Hollow Road
Bury St Edmunds
Suffolk
IP32 7AY

Philip Isbell
Corporate Manager - Development Manager
Planning Services
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich
Suffolk IP1 2BX

Enquiries to: James Rolfe
Direct Line: 01284 741225
Email: James.Rolfe@suffolk.gov.uk
Web: <http://www.suffolk.gov.uk>

Our Ref: 2020_01175
Date: 27th March 2020

For the Attention of Averil Goudy

Dear Mr Isbell

Planning Application DC/20/001175 – Land Adj Port One Business And Logistics Park Blackacre Hill Bramford Road Great Blakenham: Archaeology

This site lies in an area of archaeological potential recorded on the County Historic Environment Record, in close proximity to a number of known heritage assets, a geophysical survey of the development area has identified a number of geophysical anomalies of archaeological significance (BLL 023), immediately to the north archaeological evaluation and excavation identified prehistoric and Roman features and finds (BLG 036) and immediately to the south archaeological evaluation has identified Neolithic and Iron age pits and Roman and medieval field systems (BRF 106). As a result, there is high potential for the discovery of below-ground heritage assets of archaeological importance within this area, and groundworks associated with the development have the potential to damage or destroy any archaeological remains which exist.

There are no grounds to consider refusal of permission in order to achieve preservation *in situ* of any important heritage assets. However, in accordance with the *National Planning Policy Framework* (Paragraph 199), any permission granted should be the subject of a planning condition to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed.

In this case the following two conditions would be appropriate:

1. No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation which has been submitted to and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording
- b. The programme for post investigation assessment
- c. Provision to be made for analysis of the site investigation and recording
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation
- e. Provision to be made for archive deposition of the analysis and records of the site investigation
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

2. No building shall be occupied until the site investigation and post investigation assessment has been completed, submitted to and approved in writing by the Local Planning Authority, in accordance with the programme set out in the Written Scheme of Investigation approved under Condition 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

REASON:

To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2018).

INFORMATIVE:

The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team.

I would be pleased to offer guidance on the archaeological work required and, in our role as advisor to Mid Suffolk District Council, the Conservation Team of SCC Archaeological Service will, on request of the applicant, provide a specification for the archaeological mitigation. In this case, an archaeological evaluation will be required to establish the potential of the site and decisions on the need for any further investigation (excavation before any groundworks commence and/or monitoring during groundworks) will be made on the basis of the results of the evaluation.

Further details on our advisory services and charges can be found on our website: <http://www.suffolk.gov.uk/archaeology/>

Please do get in touch if there is anything that you would like to discuss or you require any further information.

Yours sincerely,

James Rolfe

Senior Archaeological Officer
Conservation Team

From: Denis Cooper <Denis.Cooper@suffolk.gov.uk>

Sent: 22 September 2020 17:12

To: Katherine Hale <Katherine.Hale@baberghmidsuffolk.gov.uk>; BMSDC Planning Area Team Blue <planningblue@baberghmidsuffolk.gov.uk>

Subject: MSDC Planning Re-consultation Request - DC/20/01175 Extension to development at Blackacre Hill

Dear Katherine,

I refer to your recent consultation on this outline application (all matters except access reserved).

Comments on Surface Water (SW) Drainage and local flooding from Suffolk County Council Flood and Water Management Team

I have reviewed the following documents and would advise you the surface water drainage proposals remain unacceptable however, bearing in mind the layout and site levels will be reserved matters, I am prepared to remove my holding objection so long as the conditions outlined below are attached to any permission.

- JMS Technical Note dated 18th September 2020
- Flood Risk Assessment (FRA) and SUDs Strategy dated 14/8/2020 including appendices

This is because:

The SW drainage proposals fail to demonstrate the drainage proposals comply with national standards. The development is therefore at risk of increasing flooding off site and pollution of ground water – which is used for drinking water. Insufficient appropriate information has been submitted. The vulnerability of ground water is high. Water pollution risks associated with proposed service yards is high.

Longitudinal sections along the proposed drainage system have not been submitted as requested. This is a normal requirement as outlined on our guidance and is routine practise for drainage design. Due to the variable nature of the subsoil (ranging from clay and sandy materials to chalk, and large depths of proposed cut and fill) I requested these should also show the proposed drainage features (pipe runs and soakaways) interface with: the expected soil strata, the existing and final ground levels, test pits and boreholes, showing how the design soakage rates are derived for the particular depth of each soakaway feature.

The revised FRA includes a review of ground investigations, interpolating soil variations between various trial pits and boreholes as presented in Appendix B – These are discussed in the report and para (2.020) appears to conclude that it is expected that the upper layers of the sandy strata would have a soakage rate of 6.1×10^{-6} m/s . (21mm/hr). But this does not seem to be used for design. A clearer conclusion is required, or more testing.

In particular, for plot 6 the design rate (75mm/Hr) used, appears to be too high. The cross section in the technical note shows the test result is relevant to strata well above the proposed soakaways.

The depths of the proposed piped drainage system upstream of the plot 6 (levels shown in the model data) are too shallow, -with insufficient cover, but the base of the soakaway is only just over 1m above the chalk level shown in a nearby borehole and so should not be lowered. – The base needs to be well above the chalk to help protect ground water from pollution. The design needs to take account of possible variations in chalk level.

In addition para 6.2.2 of the FRA proposed filter drains (trenches) within plot 6. These would need to be at a greater depth to provide the required water treatment (SUDS Manual para 15.5) and protect the pipes within them from damage.

So it would appear **the final ground levels would need to be higher at plot 6 and probably 7 and 8**

Para 6.2.2 states the service yard and access road for plot 6 would drain to a filter strip and then to the pipe network. However the filter strip width hasn't been designed -see SUDS manual 15.5 and this is likely to take up a considerable area.

Para 6.2.3 of the FRA states the final discharge would be to "*narrow crated soakaway, like the strategy set out in the extant planning permission*" (for plots 2 and 4). However the proposed design for plots 4 and 2 uses open basins with narrow sand filled trenches beneath. Treatment is provided by the vegetated basin, the topsoil and the sand fill. These are relatively easier to maintain from the surface than buried "crates".

The proposals put forward in 6.2.2. and 6.2.3 are unacceptable. They do not provide adequate treatment and would be difficult to maintain.

Similar issues exist with the depths for pipes serving plot 5. Indeed the overflow pipe to the south west basin (mentioned in the FRA para 6.15) would be above existing ground levels unless the ground is raised in an area with existing trees. Para 6.15 describes the South West basin as an "infiltration basin", however this is shown to be raised above existing ground levels, built on fill. Infiltration into fill is not normally allowed (BRE 365, SUDS Manual and SCC SUDS Guidance), indeed the surrounding embankment will need to be impermeable for it to be stable.

The proposals for draining plot 9 into soakaways within fill are unacceptable. The soakage rate assumed for this design (40mm/Hr) was the test result from test pit 05/6 however a short distance away the test value was 5mm/hr (too low). If infiltration type SUDS are to be sited in this area then the design rate should be lower than 40mm/hr informed by the review referred to above. Further soakage tests may be needed along the line of the swale or proposed soakaway as described in BRE365 or the SuDS Manual.

Appendix J of the FRA – Simple Index Assessment – is unacceptable as the sole proposal for treatment. The assessment should be used to determine what forms of SuDS can be used in sequence to provide the required treatment for the anticipated pollution hazards. It is not clear what drainage systems the various sheets refer to. “Proprietary treatment systems” are put forward, but they should only be used in exceptional circumstances.

Further design of each component is required to ensure they each provide the appropriate level of treatment- as per the SUDS Manual

Half emptying times for the drainage need to be checked assuming no FOS (i.e. 1) for the critical 10 year RP storms.

Design calculations for 100 and 30 year Return period events will be needed.

Phasing may be an issue since the current proposals are to drain plots 7 and 8 into plot 6 with an overflow to a new basin sited just south of plot 4.

There may be other issues.

The design so far is preliminary /indicative and more details will eventually be required. It is understood that the layout, levels and appearance and development areas are not fixed by the grant of an outline permission. These will be subject of conditions/reserved matters. However it is important that levels and layout matters/conditions are not cleared before drainage, since as illustrated above, the layout and levels will be informed by the drainage FRA/Strategy which needs to be improved.

Draft Conditions.

Based on SCC standard Outline Application feb 2020 version

1. Concurrent with the first reserved matters application(s) a surface water drainage strategy for plots 5-9 shall be submitted to, and approved in writing by, the local planning authority.
2. No development shall take place within any particular area or phase of the development until details of a surface water drainage scheme for that plot/ phase, have been submitted to and approved in writing by the local planning authority
The scheme shall be in accordance with the approved strategy and shall include:
 - a. Dimensioned plans and drawings of the surface water drainage scheme ;
 - b. Modelling of the surface water drainage scheme to show that the attenuation/infiltration features will contain the 1 in 100 year rainfall event including climate change;
 - c. Modelling of the surface water conveyance network in the 1 in 30 year rainfall event to show no above ground flooding, and modelling of the volumes of any above ground flooding from the pipe network in a 1 in 100 year climate

- change rainfall event, along with topographic plans showing where the water will flow and be stored to ensure no flooding of buildings or offsite flows;
- d. Topographical plans depicting all exceedance flow paths and demonstration that the flows would not flood buildings or flow offsite, and if they are to be directed to the surface water drainage system then the potential additional rates and volumes of surface water must be included within the modelling of the surface water system;
 - e. Details of a Construction Surface Water Management Plan (CSWMP) detailing how surface water and storm water will be managed on the site during construction (including demolition and site clearance operations) is submitted to and agreed in writing by the local planning authority. The CSWMP shall be implemented and thereafter managed and maintained in accordance with the approved plan for the duration of construction. The approved CSWMP and shall include:
 - i. Method statements, scaled and dimensioned plans and drawings detailing surface water management proposals to include:-
 1. Temporary drainage systems
 2. Measures for managing pollution / water quality and protecting controlled waters and watercourses
 3. Measures for managing any on or offsite flood risk associated with construction
 - f. Details of the maintenance and management of the surface water drainage scheme shall be submitted to and approved in writing by the local planning authority.

The scheme shall be fully implemented as approved.

Reasons: To prevent flooding by ensuring the satisfactory storage and disposal of surface water from the site for the lifetime of the development. To ensure the development does not cause increased flood risk, or pollution of watercourses or groundwater. To ensure clear arrangements are in place for ongoing operation and maintenance of the disposal of surface water drainage.

<https://www.suffolk.gov.uk/roads-and-transport/flooding-and-drainage/guidance-on-development-and-flood-risk/construction-surface-water-management-plan/>

- 3 Within 28 days of completion of the last dwelling/building become erected details of all Sustainable Drainage System components and piped networks have been submitted, in an approved form, to and approved in writing by the Local Planning Authority for inclusion on the Lead Local Flood Authority's Flood Risk Asset Register.

Reason: To ensure that the Sustainable Drainage System has been implemented as permitted and that all flood risk assets and their owners are recorded onto the LLFA's statutory flood risk asset register as per s21 of the Flood and Water Management Act 2010 in order to enable the proper management of flood risk with the county of Suffolk

<https://www.suffolk.gov.uk/roads-and-transport/flooding-and-drainage/flood-risk-asset-register/>

Regards

Denis Cooper

From: GHI Floods Planning <floods.planning@suffolk.gov.uk>

Sent: 09 September 2020 10:44

To: BMSDC Planning Area Team Blue <planningblue@babberghmidsuffolk.gov.uk>; Katherine Hale <Katherine.Hale@babberghmidsuffolk.gov.uk>

Cc: Christopher Fish <Christopher.Fish@suffolk.gov.uk>

Subject: RE: MSDC Planning Re-consultation Request - DC/20/01175



Dear Katherine,

Thank you for consulting us again on this outline application.

Comments on Surface Water (SW) Drainage and local flooding from Suffolk County Council Flood and Water Management Team

I have reviewed the following documents and continue to recommend a standing objection as set out below:

- Flood Risk Assessment (FRA) and SUDs Strategy dated 14/8/2020 including appendices
- Results of GI and revised location plans sent to SCC by email in August 2020 (attached)
- Revised development masterplan 1823-de-10-003b dated 12/8/2020

This is because:

The SW drainage proposals fail to demonstrate the drainage proposals comply with national standards. The development is therefore at risk of increasing flooding off site and pollution of ground water. Insufficient appropriate information has been submitted.

Longitudinal sections along the proposed drainage system have not been submitted as requested. These should show the proposed drainage features and how they interface with the expected soil strata, the existing and final ground levels and test pits and boreholes showing how the design soakage rates are derived.

The location of some boreholes and trial holes is not shown on the location plan in Appendix A of the FRA. One of the omitted ones (BH2) revealed chalk, others clayey deposits (which are not suitable for infiltration). It is very difficult to cross reference logs to the location plan as many have the same references and ground levels are mostly not recorded on the logs. Additional GI information has been informally provided. But a single plan is required showing the location of all investigation pits and boreholes each labelled with a unique reference to enable logs and test results to be accessed. (e.g. SK01 and 02 were missing on plan 309 rev p4 but are shown on an earlier plan submitted in May 2020).

The "Causeway" hydraulic model for plot 5 is difficult to understand - some node references do not match those shown on the plot 5 layout plan. It appears the proposed soakaways are too small. This may partly be due to model instabilities/ in-balances - negative maximum flows are shown in the results. In reality more water would discharge to the proposed basin to the South

West. However this basin is much larger on the layout plan than shown in the model. The layout plan will need to show the basin in more detail as it is set into a slope. Part appears to be above existing ground level and part up to 3m below.

The FRA has not identified what is at risk, off site in exceedance events, and some exceedance routes shown within the site do not appear to be compatible with modelled proposed ground levels at plots 6,7, 8.

The design so far is preliminary /indicative and more details will eventually be required. These may be subject of conditions/reserved matters once the above issues are resolved.

Further information /advice:

The FRA (paras 2.1.1 and 2.3.1) concluded the site drains either by infiltration or to a watercourse. Para 2.3.3 says "The topography directs SW to two low points "

The existing Bramford to Great Blakenham Road is raised and may form a dam to commonly occurring natural site runoff flowing towards the River Gipping. The topographical survey plan still does not include the road to the south.

However the FRA (2.3.4) describes a low point to the south of the site , where any surface water runoff from about 8.4 Ha of the site would currently drain, and mentions a ditch here which drains southwards along the base of the embankment of the public highway. The route and eventual outfall /point where it crosses the Bramford Rd is not clearly identified. Paragraph (2.3.8), says " *There is a further small ditches to the south through the tree line towards Pound Lane which crosses under Bramford Rd and to the drainage network to serve Suffolk Water park and outfall to the River Gipping.* " More detail is important since if there are potential flood receptors (buildings or roads) that might be affected by flood or exceedance flows from the development, then the factors of safety applied to soakage rates would need to be higher (larger SUDS required).

The FRA 2.3.7 describes 3 soakage test results close to the South boundary of 3.03×10^{-7} m/s, 1.15×10^{-5} and 1.3×10^{-6} m/s . SCC would point out two of these are below the usual lower limit (2.8×10^{-6} m/s to rely on soakaways as the sole means of drainage. In general many of the test pits and bores found silty or clayey materials, occasional reasonable test rates resulted where deposits had less clay and silt.

Ground conditions are variable and the revised FRA includes a review of ground investigations, interpolating soil variations between various trial pits and boreholes by drawing the sections presented in Appendix B – section locations are shown in Appendix K part2 . These are discussed in the report and para (2.020) appears to conclude that it is expected that the upper layers of the sandy strata would have a soakage rate of 6.1×10^{-6} m/s . (21mm/hr). But this does not seem to be used for design.

The FRA (section 6) describes the proposed overall strategy to retain and soak SW away for design storm events up to 100 years return period. It says exceedance flows would be routed towards the southern boundary to the proposed south west basin or to what is described as an existing "swale" on the southern boundary – at the toe of the embankment of the road. The swale would route exceedance flows to the South East corner where they would infiltrate in the tree belt area.

However para 2.3.4 indicates the "swale" drains to a ditch and then the River Gipping. The topographical plan does not clearly show the ditch or any pipe that must cross the road. No

section showing the swale or pipe is provided so it is not clear whether all exceedance flows would soak away within the site or whether they would flow off site via the ditch and pipe.

Exceedance events are typically due to more severe storms, or more commonly, blockages, lack of maintenance- especially of permeable paving or throttles, use of incorrect materials (typically for permeable subbase), water main bursts, unexpected variability in soil permeability and strata levels.

The FRA does not adequately consider exceedance events or whether buildings or properties might be affected downstream. If there is a risk then factors of safety applied to soakage rates will need to be increased to 10 in line with the CIRIA SuDS manual and the SCC guide. Alternatively the storage required for exceedance might be estimated -perhaps as the difference in storage capacity required with a FOS set to 10 and the capacity required with a FOS set to 5

Half emptying times should be checked assuming no FOS (i.e. 1) for the critical 10 year RP storms.

The proposed strategy for each plot shown in the FRA now appears to be :

To drain SW from plots 7 and 8 via attenuation tanks and flow controls to soakaways proposed within plot 6.

No soakage testing has been undertaken for Plots 7 and 8 due to these areas currently being used to stock pile materials This is Ok for now. It will be necessary to phase development as plots 7 and 8 may have to rely on soakaways in plot 6.

SW from plot 6 car park to drain to permeable paving.

Exceedance flows from plots 6, 7,8 to drain through plot 5 to a new basin to the South West and to the ditch/swale to the S East.

SW from plot 5 to drain to soakaways in plot 5, supplemented by a basin to the south. The model allows water from the basin which is in clayey ground, to drain back to the soakaway.

SW from plot 9 drains via a swale and basin to a soakaway within plot 9. Exceedance flows to swale/ditch in South East

For plots 3, 4 the proposed design is as permitted under the previous planning application.

Treatment

The space required for SUDS may also depend on water treatment measures required to help prevent pollution of ground water. The design criteria for designing these is set out in the SUDS Manual and SCC SUDS guide. For the proposal, assuming no discharge to watercourses in a 1 in 1 year event treatment is required only to protect ground water.

Regards

Denis Cooper

Flood and Water Engineer

Flood and Water Management

Growth, Highways and Infrastructure

Suffolk County Council

Tel: 01473 260907

email: denis.cooper@suffolk.gov.uk

Useful Links

[SCC Guidance on Development and SW flood risk](#)

From: GHI Floods Planning <floods.planning@suffolk.gov.uk>

Sent: 20 July 2020 08:46

To: BMSDC Planning Area Team Blue <planningblue@baberghmidsuffolk.gov.uk>; Elizabeth Flood <Elizabeth.Flood@baberghmidsuffolk.gov.uk>; BMSDC Planning Mailbox <planning@baberghmidsuffolk.gov.uk>

Subject: RE: MSDC Planning Re-consultation Request - DC/20/01175



Dear Elizabeth,

Thank you for consulting us again on this Outline application.

Comments on Surface Water (SW) Drainage and local flooding from Suffolk County Council Flood and Water Management Team

I have reviewed the following documents and continue to recommend a standing objection as set out below:

- Flood Risk Assessment (FRA) and SUDs Strategy dated 26/6/2020 including appendices. (Note Appendix A does not contain all GI test results.)
- JMS Technical note dated May 2020 (which includes most recent GI results)

This is because:

The SW drainage proposals fail to demonstrate the drainage proposals comply with national standards. The development is therefore at risk of increasing flooding off site and pollution of ground water. Insufficient appropriate information has been submitted. It is likely more space may be needed for drainage.

Detailed comments:

The FRA (2.3.1) considers the existing situation and concluded the site drains either by infiltration or to a watercourse. Para 2.3.3 says "*The topography directs SW to two many low points*" ?

The existing Bramford to Great Blakenham Road is raised and appears to effectively form a dam to any natural site runoff flowing towards the River Gipping.

The topographical survey plan included in appendix F still does not include all the additional site or the road to the south.

The FRA (2.3.4) describes a low point to the south of the site, where any SW runoff from about 8.4 Ha of the site would currently drain, and mentions a ditch here which drains southwards along the base of the embankment of the public highway. The route and eventual outfall /point where it crosses the Bramford Rd is not clearly identified. This is important since if there are potential flood receptors (properties) that might be affected by flood flows from the development, then the factors of safety applied to soakage rates would need to be higher (larger SUDS required).

The existing greenfield runoff rates are estimated as: (Qbar 30.3 l/sec, 1 in 1 year flow 26 l/sec, 1 in 100 year 108 l/sec.) These are slightly high - My estimate is the 1 in 100 year flow should be 85 l/sec. (larger SUDS may be required)

The FRA does not consider existing drainage in any detail. For instance: Are there land drains? Does runoff from Bramford Road drain into the site?

The FRA states any SW runoff from the remainder of the site drains to another low spot (SCC land to the East adjacent to the road junction).

The FRA has not estimated the maximum water levels at either low point and does not explore whether water might flow from one low point to the other through the unsurveyed area.

The FRA describes the proposed overall strategy - to retain and soak SW away with no runoff from the site in common storm events. For severe events, with a return period (RP) >30 years, there would be some runoff from the site. The strategy will need to keep this offsite flow below the green field rate in events up to the 100 year RP.

The FRA does not adequately consider exceedance events which might occur during common rainfall events. Possible causes of exceedance flooding are blockages, lack of maintenance of permeable paving, incorrect specifications, water main bursts, variability in soil permeability and strata levels.

Ground conditions are variable and the revised FRA now includes a review of ground Investigations, interpolating soil variations between various trial pits and boreholes by drawing the sections presented in Appendix B – section locations are shown in Appendix K part2. These are discussed in the report and para (2.021) appears to conclude that it is expected that the upper layers of the sandy strata would have a soakage rate of 6.1×10^{-6} m/s. (21mm/hr).

It claims infiltration rates recorded in the clay layers have achieved between 6.1 and 6.7×10^{-6} m/s. However this is for tests in boreholes which are unreliable and with a unrealistic depth of water as mentioned in my previous comments. No firm conclusions for design soakage rates or depths of permeable strata at the proposed soakaways are described in the report.

For plots 3, 4 and 9 the proposed design is for an underground attenuation tank in plot 3, a 180m long swale with underground crate type soakaways beneath, overflowing via a weir to a basin located to the South East.

It appears the basin may in turn overflow to a linear feature close to the Bramford Rd described in the text of the FRA. However the link was omitted on the layout plan in appendix K and notes, presumably describing the proposals, appear to be missing on the drawing. Some of plot 9 seems to drain directly into it. More clarification is required. Soakage tests required to confirm soakage rates here.

The design calculation in appendix L assumed a soakage rate of 72mm/hr through the base of the main swale and 24mm/hr from the underground soakaway. This is not realistic since the calculations assume the swale and soakaway are separate. The design therefore underestimates flows passed on over the weir and subsequently off site.

For such linear suds a longitudinal section along the proposed drainage system should be submitted showing the proposed drainage features and how they interface with the expected soil strata, and the existing and final ground levels. It should also clearly show how the design soakage rates are derived.

It appears tests at the east end of the 180m long main swale/soakaway found mainly impermeable clay (referenced Sao4 (April 16) and SK04 (April 20)).

For plots 5-8 the design relies on relatively high soakage rates measured in boreholes. However tests in boreholes are unreliable and do not follow BRE365. In addition the tests were undertaken with a water level commencing at ground level. This factor increases the calculated soakage rate. Indeed the rates are higher than expected for the soil classes shown on the bore hole logs – The rate at shallow depths should be confirmed with tests in pits following BRE365

The FRA describes exceedance flows being directed to a basin in the South West of the development. However the layout plan shows exceedance flows being directed into the system carrying the overflow from for plots 3 and 9.

Treatment

- The space required for SUDS will also depend on water treatment measures required to help prevent pollution of ground water. The design criteria for designing these is set out in the SUDS Manual and SCC SUDS guide. However no calculations demonstrating the proposals shown on the plans are large enough to provide sufficient treatment are included. Some forms of treatment suggested in the FRA would not be appropriate. For the proposal, assuming no discharge to watercourses in a 1 in 1 year event, treatment is required only to protect ground water.

The above comments probably do not include all issues.

The submission needs to demonstrate compliance with national and local standards - as described in the SCC FRMS Appendix A (SUDS guide -see link at footer). And previous comments

Regards

Denis Cooper

Flood and Water Engineer

Flood and Water Management

Growth, Highways and Infrastructure

Suffolk County Council

Tel: 01473 260907

email: denis.cooper@suffolk.gov.uk

Useful Links

[SCC Guidance on Development and SW flood risk](#)

-----Original Message-----

From: planningblue@baberghmidsuffolk.gov.uk

<planningblue@baberghmidsuffolk.gov.uk>

Sent: 30 June 2020 16:09

To: GHI Floods Planning <floods.planning@suffolk.gov.uk>

Subject: MSDC Planning Re-consultation Request - DC/20/01175

Please find attached planning re-consultation request letter relating to planning application - DC/20/01175 - Land Adj Port One Business And Logistics Park , Blackacre Hill, Bramford Road, Great Blakenham Suffolk IP6 0RL

Kind Regards

Planning Support Team

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From: GHI Floods Planning <floods.planning@suffolk.gov.uk>

Sent: 09 June 2020 16:56

To: BMSDC Planning Area Team Blue <planningblue@baberghmidsuffolk.gov.uk>; Elizabeth Flood <Elizabeth.Flood@baberghmidsuffolk.gov.uk>

Cc: Simon Curl <Simon.Curl@suffolk.gov.uk>

Subject: RE: MSDC Planning Re-consultation Request - DC/20/01175



Dear Elizabeth,

Thank you for consulting us again on this application.

Comments on Surface Water (SW) Drainage and local flooding from Suffolk County Council Flood and Water Management Team

I have reviewed the following documents and continue to recommend a standing objection as set out below:

- Flood Risk Assessment (FRA) and appendices
- Committed site plan
- Proposed Site plan 10-003 revA
- Sections across site drg 10-006 rev a
- Ground level contour plans
- Technical Note dated 20/5/2020 includes various appendices -GI, plans and some calculations

This is because:

- Indications are that the proposals are inadequate. The development is therefore at risk of causing flooding off site and pollution of ground water. Insufficient appropriate information has been submitted to demonstrate the drainage proposals comply with national standards.
- Ground investigation and soakage test results now include recent tests carried out in 4 locations in the extended site, all finding very low permeability, unsuitable for infiltration type drainage.
- Older tests indicate much of the original site is also unsuitable for the use of infiltration type drainage.
- Limited soakage test results from just 2 bore holes, located close to the site of the proposed (approved) basin to serve phase 4, measured in a band or bands of more permeable soil found between 7 and 8 metres below ground level at BH1 and between 7-8m and 2-3m at BH2 appeared to find reasonable

soakage. However tests in boreholes are unreliable and do not follow BRE365. In addition the tests were undertaken with a water level commencing at ground level. This factor increases the calculated soakage rate. Indeed the rates are higher than expected for the soil classes shown on the bore hole logs - silty clayey sand (expected 1×10^{-7} to 1×10^{-5}) at BH1 and slightly silty sand (typically 1×10^{-5}) at BH2.

- Designs based on these test results will be too small because the head (depth of water) will be less in reality than during tests. In addition and more importantly, design calculations should only assume soakage into the band of permeable soil whereas the submitted design calculations assume soakage occurs over the whole depth of the soakaway.
- As a result of the recent poor test results a new strategy has removed or altered the approved basin serving phase 4 and added additional extensive underground “crate type” soakaways in the vicinity of Bore Holes 1 and 2, to serve plots 4,7 and 8 occupying an area roughly 100m X100m. This may need to be increased. I could not find design calculations for this new design.
- It is clear ground conditions are variable but insufficient testing has been undertaken to be sure the soakaways are within suitable permeable deposits (plan area and depths) and the ensure design rates are appropriate.
- No interpretive GI report has been submitted. If the permeable soils are in a limited pocket then the proposed drainage may flood this area. If it's a part of a linear buried channel then more concentrated flows of ground water may cause problems downhill.
- For plots 3 and 9 the proposed design is for a basin (or two?), a swale and underground crate type soakaways. However it appears the soakage rate assumed here for design is too high.. It appears the test value shown on the SW strategy plan is incorrect (for SA4 April 2016 should be 2×10^{-7} m/s). BH7 shows stiff clay down to at least 10m below ground level.
- No longitudinal sections along the proposed drainage systems have been submitted .
- However sections through parts of the development indicate that the basin for plot 9 would be partly bunded, with the retained water level locally above ground level. More detail is required. Emergency overflow? Exceedance route? Bund design. etc
- No details apart from notes on the plans indicating plastic “crates “ are shown. These are unlikely to be strong enough for the depths proposed .
- Some hydraulic calculations are provided but they are not cross referenced to the proposed drainage network shown on a plan. Calculations have not been

provided for all the system taking into account the most recent test results. Factors of safety may be too low. Half emptying times not calculated.

- The space required for SUDS will also depend on water treatment measures required to help prevent pollution of ground water. The design criteria for designing these is set out in the SUDS Manual and SCC SUDS guide. However no calculations demonstrating the proposals shown on the plans are large enough to provide sufficient treatment are included.
- The FRA does not consider existing drainage in any detail. For instance: Are there land drains ? Does runoff from Bramford Road drain into the site? If infiltration is not possible where would SW from the proposed development drain to, and at what rate to avoid increasing flood risk.
- It is not clear what the contoured plans show – no key or levels are shown. Adjacent roads need to be surveyed.
- Exceedance is not considered adequately. Where would such flows leave the site? If they could flood roads or homes then factors of safety applied to soakage rates need to be higher. Where are overflow points?.
- The Committed site plan and the Proposed Site Plan accompanying this application, do not show the second basin - an infiltration basin - serving phase 2 which is required (planning ref19/04320) - as per my previous comments. Similarly new basin for phase 4 shown faintly on strategy plan and the proposed swale for plots 3 and 9..... may be others?
- This list is unlikely to be complete.

The submission needs to demonstrate compliance with national and local standards - as described in the SCC FRMS Appendix A (SUDS guide -see link at footer).

As a minimum, we require the following documents and information to be submitted for each type of planning application or stage with the planning process.

Document Submitted	Document Description	Pre-App	Outline	Full	Reserved Matters	D
Flood Risk Assessment (FZ3 or Site >1Ha)	Evaluation of flood risk (fluvial, pluvial & groundwater) to the site – will guide layout and location of open spaces. (SCC may require modelling of ordinary watercourse if EA Flood Maps not available)	✓	✓	✓		
Drainage Strategy/Statement (less detail required for Outline)	Document that explains how the site is to be drained using SuDS principles. Shall include information on:- <ul style="list-style-type: none"> • Existing drainage (inc adjacent roads) • Impermeable Area (Pre and Post Development) 		✓	✓		

	<ul style="list-style-type: none"> Proposed SuDS Hydraulic Calculations (see below) Treatment Design (i.e. interception, pollution indices) Adoption/Maintenance Details Exceedance Paths 					
Contour Plan	Assessment of topography/flow paths/blue corridors	✓	✓	✓		
Impermeable Areas Plan	Plan to illustrate new impervious surfaces		✓	✓		
Preliminary Layout Drawings (including landscaping details)	Indicative drawings of layout, properties, open space and drainage infrastructure including:- <ul style="list-style-type: none"> Discharge location (outfall) Conveyance network Form of SuDS and location on the site 		✓			
Preliminary Site Investigation Report	3 or more trial pits and tests to BRE 365 and associated exploratory logs (check for groundwater)	✓	✓			
Preliminary hydraulic calculations	<ul style="list-style-type: none"> Discharge Rates (using suitable method i.e. FEH, IH124 (ICPSUDS) or modified rational method (brownfield sites) Storage Volume Long Term Storage (if required) 	✓	✓			
Evidence of any third party agreements to discharge to their system (i.e. Anglian Water agreement or adjacent landowner)	Evidence of any permissions or permits being obtained.		✓	✓		
Detailed Development Layout and SuDS Provision Plan (including landscaping details)	Dimensioned plans showing the detailed development layout including SuDS components, open spaces and exceedance corridors.			✓	✓	
Full SI Report	Detailed assessment of ground conditions – leading on from initial testing <ul style="list-style-type: none"> Widespread coverage of trial pits to BRE 365 Contamination/Pollution check Groundwater Monitoring 			✓	✓	
Detailed Drainage Scheme Plan	Dimensioned plan showing main aspects of the drainage infrastructure. Plans should ref:- <ul style="list-style-type: none"> SuDS details (size/volume) Pipe Numbers/Sizes/Levels Outfall & Permitted Discharge (if applicable) 			✓	✓	

Detailed SuDS Drawings (Open SuDS)	Dimensioned plans of proposed SuDS components i.e. scaled cross sections/long sections			✓	✓
Full hydraulic calculations (MicroDrainage “Network” output)	At this stage, SCC require simulations of the drainage network inc SuDS components. MicroDrainage Network should be submitted for 1,30 and 100yr+CC storms. (Source Control files are useful but not enough on their own)			✓	✓
Discharge Agreements	Evidence of any permissions or permits being obtained.			✓	✓
Health and Safety Risk Assessment	Where deep open SuDS (water level >0.5m) are proposed a H&S file will be required.				
Surface Water Construction Plan	Plan of how surface water runoff is to be attenuated and treated during the construction phase. Including plans of any temporary drainage.				

I would advise it is likely that once an acceptable FRA, development layout and SUDS strategy is received and the LPA is minded to grant permission, then certain details may then be subject to the following conditions:

1. No development shall commence until details of the strategy for the disposal of surface water on the site have been submitted to and approved in writing by the local planning authority.

Reason: To ensure that the principles of sustainable drainage are incorporated into this proposal, to ensure that the proposed development can be adequately drained

2. No development shall commence until details of the implementation, maintenance and management of the strategy for the disposal of surface water on the site have been submitted to and approved in writing by the local planning authority. The strategy shall be implemented and thereafter managed and maintained in accordance with the approved details.

Reason: To ensure clear arrangements are in place for ongoing operation and maintenance of the disposal of surface water drainage.

3. No development shall commence until details of a Construction Surface Water Management Plan (CSWMP) detailing how surface water and storm water will be managed on the site during construction (including demolition and site clearance operations) is submitted to and agreed in writing by the local planning authority. The CSWMP shall be implemented and thereafter managed and maintained in accordance with the approved plan for the duration of construction. The approved CSWMP and shall include:

- a. Method statements, scaled and dimensioned plans and drawings detailing surface water management proposals to include :-
 - i. Temporary drainage systems
 - ii. Measures for managing pollution / water quality and protecting controlled waters and watercourses

Reason: To ensure the development does not cause pollution of watercourses in line with the River Basin Management Plan

-----Original Message-----

From: planningblue@baberghmidsuffolk.gov.uk

<planningblue@baberghmidsuffolk.gov.uk>

Sent: 29 May 2020 15:58

To: GHI Floods Planning <floods.planning@suffolk.gov.uk>

Subject: MSDC Planning Re-consultation Request - DC/20/01175

Please find attached planning re-consultation request letter relating to planning application - DC/20/01175 - Land Adj Port One Business And Logistics Park , Blackacre Hill, Bramford Road, Great Blakenham Suffolk IP6 0RL

Kind Regards

Planning Support Team

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Babergh District Council and Mid Suffolk District Council (BMSDC) will be Data Controllers of the information you are providing. As required by the Data Protection Act 2018 the information will be kept safe, secure, processed and only shared for those purposes or where it is allowed by law. In some circumstances however we may need to disclose your personal details to a third party so that they can provide a service you have requested, or fulfil a request for information. Any information about you that we pass to a third party will be held securely by that party, in accordance with the Data Protection Act 2018 and used only to provide the services or information you have requested.

For more information on how we do this and your rights in regards to your personal information and how to access it, visit our website.

From: GHI Floods Planning <floods.planning@suffolk.gov.uk>

Sent: 25 May 2020 12:17

To: BMSDC Planning Area Team Blue <planningblue@baberghmidsuffolk.gov.uk>

Subject: RE: MSDC Planning Re-consultation Request - DC/20/01175

Dear Vincent,

Thank you for consulting us on this outline application.

Comments on Surface Water (SW) Drainage and local flooding from Suffolk County Council Flood and Water Management Team

I have reviewed the following documents and recommend a standing objection as set out below:

- Flood Risk Assessment (FRA) and appendices
- Committed site plan
- Proposed Illustrative Site plan
- Ground level contour plans
- Technical Note dated 9 April 2020

This is because:

- Apart from a statement in the Technical note of 9th April which states the “approved lagoon and detention basin under phase 2 is to remain unaltered” No new information has been provided. (Please note the Committed site plan and the Proposed Illustrative Site Plan accompanying this application, do not show the second basin - an infiltration basin - serving phase 2 - hence my previous comments)
- The submitted preliminary proposals for SW drainage rely on infiltration (soakage) and drain parts of the original site, including phase 4, into the extended site to the South.
- However the submitted ground investigation and soakage testing information from 2016/2017 relates to the original site, where ground conditions were variable and, in some areas, unsuitable for infiltration type drainage.
- The submission does not include information on ground conditions or soakage tests within the extended site. This information is essential in order to determine whether the ground conditions are suitable for the proposed new infiltration basins and also to help determine the site area required for them. The new statement indicates “*testing in the locations for the proposed infiltration basins has been commissioned and the designs will be updated to reflect the on site results*”

- If ground conditions are found to be unsuitable for infiltration (perhaps due to poor soakage, high groundwater, chalk at a shallow depth, or contamination) then it is not clear where the SW would be drained to..
- The space required for SUDS will also depend on water treatment measures required to help prevent pollution of ground water. The design criteria for designing these is set out in the SUDS Manual and SCC SUDS guide. However no calculations demonstrating the proposals shown on the plans provide sufficient treatment are included.
- Calculations provided in the FRA are not clearly cross referenced to the proposed drainage network. The source of the soakage rates assumed in the calculations is not clear. A large storage volume within pipe networks appears to be included in the calculations – no justification is included. Half emptying times not calculated.
- The FRA does not consider existing drainage in any detail. For instance an existing rectangular pond or pit appears to exist on the West of the extended site, does water flow in or out? Are there land drains ? Does runoff from Bramford Road drain into the site? If infiltration is not possible where would SW from the proposed development drain to, and at what rate to avoid increasing flood risk.
- It is not clear what the contoured plans show – no key or levels are shown. Adjacent roads need to be surveyed.
- Exceedance is not considered.

The submission needs to demonstrate compliance with national and local standards - as described in the SCC FRMS Appendix A (SUDS guide -see link at footer).

As a minimum, we require the following documents and information to be submitted for each type of planning application or stage with the planning process.

Document Submitted	Document Description	Pre-App	Outline	Full	Reserved Matters	D
Flood Risk Assessment (FZ3 or Site >1Ha)	Evaluation of flood risk (fluvial, pluvial & groundwater) to the site – will guide layout and location of open spaces. (SCC may require modelling of ordinary watercourse if EA Flood Maps not available)	✓	✓	✓		
Drainage Strategy/Statement (less detail required)	Document that explains how the site is to be drained using SuDS principles. Shall include information on:- <ul style="list-style-type: none"> • Existing drainage (inc adjacent roads) 		✓	✓		

for Outline)	<ul style="list-style-type: none"> Impermeable Area (Pre and Post Development) Proposed SuDS Hydraulic Calculations (see below) Treatment Design (i.e. interception, pollution indices) Adoption/Maintenance Details Exceedance Paths 					
Contour Plan	Assessment of topography/flow paths/blue corridors	✓	✓	✓		
Impermeable Areas Plan	Plan to illustrate new impervious surfaces		✓	✓		
Preliminary Layout Drawings (including landscaping details)	Indicative drawings of layout, properties, open space and drainage infrastructure including:- <ul style="list-style-type: none"> Discharge location (outfall) Conveyance network Form of SuDS and location on the site 		✓			
Preliminary Site Investigation Report	3 or more trial pits and tests to BRE 365 and associated exploratory logs (check for groundwater)	✓	✓			
Preliminary hydraulic calculations	<ul style="list-style-type: none"> Discharge Rates (using suitable method i.e. FEH, IH124 (ICPSUDS) or modified rational method (brownfield sites) Storage Volume Long Term Storage (if required) 	✓	✓			
Evidence of any third party agreements to discharge to their system (i.e. Anglian Water agreement or adjacent landowner)	Evidence of any permissions or permits being obtained.		✓	✓		
Detailed Development Layout and SuDS Provision Plan (including landscaping details)	Dimensioned plans showing the detailed development layout including SuDS components, open spaces and exceedance corridors.			✓	✓	
Full SI Report	Detailed assessment of ground conditions – leading on from initial testing <ul style="list-style-type: none"> Widespread coverage of trial pits to BRE 365 Contamination/Pollution check Groundwater Monitoring 			✓	✓	
Detailed Drainage Scheme Plan	Dimensioned plan showing main aspects of the drainage infrastructure. Plans should ref:- <ul style="list-style-type: none"> SuDS details (size/volume) Pipe Numbers/Sizes/Levels Outfall & Permitted Discharge (if applicable) 			✓	✓	

Detailed SuDS Drawings (Open SuDS)	Dimensioned plans of proposed SuDS components i.e. scaled cross sections/long sections			✓	✓
Full hydraulic calculations (MicroDrainage “Network” output)	At this stage, SCC require simulations of the drainage network inc SuDS components. MicroDrainage Network should be submitted for 1,30 and 100yr+CC storms. (Source Control files are useful but not enough on their own)			✓	✓
Discharge Agreements	Evidence of any permissions or permits being obtained.			✓	✓
Health and Safety Risk Assessment	Where deep open SuDS (water level >0.5m) are proposed a H&S file will be required.				
Surface Water Construction Plan	Plan of how surface water runoff is to be attenuated and treated during the construction phase. Including plans of any temporary drainage.				

I would advise it is likely that once an acceptable FRA, development layout and SUDS strategy is received and the LPA is minded to grant permission, then certain details may then be subject to the following conditions:

1. No development shall commence until details of the strategy for the disposal of surface water on the site have been submitted to and approved in writing by the local planning authority.

Reason: To ensure that the principles of sustainable drainage are incorporated into this proposal, to ensure that the proposed development can be adequately drained

2. No development shall commence until details of the implementation, maintenance and management of the strategy for the disposal of surface water on the site have been submitted to and approved in writing by the local planning authority. The strategy shall be implemented and thereafter managed and maintained in accordance with the approved details.

Reason: To ensure clear arrangements are in place for ongoing operation and maintenance of the disposal of surface water drainage.

3. No development shall commence until details of a Construction Surface Water Management Plan (CSWMP) detailing how surface water and storm water will be managed on the site during construction (including demolition and site clearance operations) is submitted to and agreed in writing by the local planning authority. The CSWMP shall be implemented and thereafter managed and maintained in accordance with the approved plan for the duration of construction. The approved CSWMP and shall include:

- a. Method statements, scaled and dimensioned plans and drawings detailing surface water management proposals to include :-
 - i. Temporary drainage systems
 - ii. Measures for managing pollution / water quality and protecting controlled waters and watercourses

Reason: To ensure the development does not cause pollution of watercourses in line with the River Basin Management Plan

Regards

Denis Cooper

Flood and Water Engineer

Flood and Water Management

Growth, Highways and Infrastructure

Suffolk County Council

Tel: 01473 260907

email: denis.cooper@suffolk.gov.uk

-----Original Message-----

From: planningblue@baberghmidsuffolk.gov.uk

<planningblue@baberghmidsuffolk.gov.uk>

Sent: 04 May 2020 14:50

To: RM Floods Planning <floods.planning@suffolk.gov.uk>

Subject: MSDC Planning Re-consultation Request - DC/20/01175

Please find attached planning re-consultation request letter relating to planning application - DC/20/01175 - Land Adj Port One Business And Logistics Park , Blackacre Hill, Bramford Road, Great Blakenham Suffolk IP6 0RL

Kind Regards

Planning Support Team

Emails sent to and from this organisation will be monitored in accordance with the law to ensure compliance with policies and to minimize any security risks. The information contained in this email or any of its attachments may be privileged or confidential and is intended for the exclusive use of the addressee. Any unauthorised use may be unlawful. If you receive this email by mistake, please advise the sender immediately by using the reply facility in your email software. Opinions, conclusions and other information in this email that do not relate to the official business of Babergh District Council and/or Mid Suffolk District Council shall be understood as neither given nor endorsed by Babergh District Council and/or Mid Suffolk District Council.

From: RM Floods Planning <floods.planning@suffolk.gov.uk>
Sent: 30 March 2020 22:10
To: BMSDC Planning Area Team Blue <planningblue@baberghmidsuffolk.gov.uk>
Cc: Jason Skilton <Jason.Skilton@suffolk.gov.uk>
Subject: RE: MSDC Planning Consultation Request - DC/20/01175



Dear Averil,

Thank you for consulting us on this outline application.

Comments on Surface Water (SW) Drainage and local flooding from Suffolk County Council Flood and Water Management Team

I have reviewed the following documents and recommend a standing objection as set out below:

- Flood Risk Assessment (FRA) and appendices
- Committed site plan
- Proposed Illustrative Site plan
- Ground level contour plans

This is because:

- The proposal is to remove two of the proposed SUDS basins in phases 2 and 4 of the original site. These were approved under permission 19/04320 (condition 6) SCC's email to MSDC dated 21/10/2019 referred to this. The FRA mentions application ref. 19/01793.

- Phase 2 of the original permission included 2 SUDS basins. The upstream basin would be a permanent pond (it's sited in impervious soil) and this would provide some storage and a first stage of treatment. This is shown on the current application. However the second basin which was intended to provide further storage, soak water into the ground and provide a second stage of treatment, is not shown on the current proposal plans. Treatment is needed to help protect the ground water.
- The submitted preliminary proposals for SW drainage rely on infiltration (soakage) and drain parts of the original site, including phase 4, into the extended site to the South.
- However the submitted ground investigation and soakage testing information from 2016/2017 relates to the original site, where ground conditions were variable and, in some areas, unsuitable for infiltration type drainage.
- The submission does not include information on ground conditions or soakage tests within the extended site. This information is essential in order to determine whether the ground conditions are suitable for the proposed new infiltration basins and also to help determine the site area required for them.
- If ground conditions are found to be unsuitable for infiltration (perhaps due to poor soakage, high groundwater, chalk at a shallow depth, or contamination) then it is not clear where the SW would be drained to..
- The space required for SUDS will also depend on water treatment measures required to help prevent pollution of ground water. The design criteria for designing these is set out in the SUDS Manual and SCC SUDS guide. However no calculations demonstrating the proposals shown on the plans provide sufficient treatment are included.
- Calculations provided in the FRA are not clearly cross referenced to the proposed drainage network. The source of the soakage rates assumed in the calculations is not clear. A large storage volume within pipe networks appears to be included in the calculations – no justification is included. Half emptying times not calculated.
- The FRA does not consider existing drainage in any detail. For instance an existing rectangular pond or pit appears to exist on the West of the extended site, does water flow in or out? Are there land drains? Does runoff from Bramford Road drain into the site?
- It is not clear what the contoured plans show – no key or levels are shown. Adjacent roads need to be surveyed.

- Exceedance is not considered.

The submission needs to demonstrate compliance with national and local standards - as described in the SCC FRMS Appendix A (SUDS guide - see link at footer).

As a minimum, we require the following documents and information to be submitted for each type of planning application or stage with the planning process.

Document Submitted	Document Description	Pre-App	Outline	Full	Reserved Matters	Discharge Condition
Flood Risk Assessment (FZ3 or Site >1Ha)	Evaluation of flood risk (fluvial, pluvial & groundwater) to the site – will guide layout and location of open spaces. (SCC may require modelling of ordinary watercourse if EA Flood Maps not available)	✓	✓	✓		
Drainage Strategy/Statement (less detail required for Outline)	Document that explains how the site is to be drained using SuDS principles. Shall include information on:- <ul style="list-style-type: none"> • Existing drainage (inc adjacent roads) • Impermeable Area (Pre and Post Development) • Proposed SuDS • Hydraulic Calculations (see below) • Treatment Design (i.e. interception, pollution indices) • Adoption/Maintenance Details • Exceedance Paths 		✓	✓		
Contour Plan	Assessment of topography/flow paths/blue corridors	✓	✓	✓		

Impermeable Areas Plan	Plan to illustrate new impervious surfaces		✓	✓		
Preliminary Layout Drawings (including landscaping details)	Indicative drawings of layout, properties, open space and drainage infrastructure including:- <ul style="list-style-type: none"> • Discharge location (outfall) • Conveyance network • Form of SuDS and location on the site 		✓			
Preliminary Site Investigation Report	3 or more trial pits and tests to BRE 365 and associated exploratory logs (check for groundwater)	✓	✓			
Preliminary hydraulic calculations	<ul style="list-style-type: none"> • Discharge Rates (using suitable method i.e. FEH, IH124 (ICPSUDS) or modified rational method (brownfield sites) • Storage Volume • Long Term Storage (if required) 	✓	✓			
Evidence of any third party agreements to discharge to their system (i.e. Anglian Water agreement or adjacent landowner)	Evidence of any permissions or permits being obtained.		✓	✓		
Detailed Development Layout and SuDS Provision Plan (including landscaping details)	Dimensioned plans showing the detailed development layout including SuDS components, open spaces and exceedance corridors.			✓	✓	✓
Full SI Report	Detailed assessment of ground conditions – leading on from initial testing <ul style="list-style-type: none"> • Widespread coverage of trial pits to BRE 365 			✓	✓	✓

	<ul style="list-style-type: none"> Contamination/Pollution check Groundwater Monitoring 					
Detailed Drainage Scheme Plan	<p>Dimensioned plan showing main aspects of the drainage infrastructure. Plans should ref:-</p> <ul style="list-style-type: none"> SuDS details (size/volume) Pipe Numbers/Sizes/Levels Outfall & Permitted Discharge (if applicable) 			✓	✓	✓
Detailed SuDS Drawings (Open SuDS)	Dimensioned plans of proposed SuDS components i.e. scaled cross sections/long sections			✓	✓	✓
Full hydraulic calculations (MicroDrainage "Network" output)	At this stage, SCC require simulations of the drainage network inc SuDS components. MicroDrainage Network should be submitted for 1,30 and 100yr+CC storms. (Source Control files are useful but not enough on their own)			✓	✓	✓
Discharge Agreements	Evidence of any permissions or permits being obtained.			✓	✓	✓
Health and Safety Risk Assessment	Where deep open SuDS (water level >0.5m) are proposed a H&S file will be required.					✓
Surface Water Construction Plan	Plan of how surface water runoff is to be attenuated and treated during the construction phase. Including plans of any temporary drainage.					✓

I would advise it is likely that once an acceptable FRA, development layout and SUDS strategy is received and the LPA is minded to grant permission, then certain details may then be subject to the following conditions:

1. No development shall commence until details of the strategy for the disposal of surface water on the site have been submitted to and approved in writing by the local planning authority.

Reason: To ensure that the principles of sustainable drainage are incorporated into this proposal, to ensure that the proposed development can be adequately drained

2. No development shall commence until details of the implementation, maintenance and management of the strategy for the disposal of surface water on the site have been submitted to and approved in writing by the local planning authority. The strategy shall be implemented and thereafter managed and maintained in accordance with the approved details.

Reason: To ensure clear arrangements are in place for ongoing operation and maintenance of the disposal of surface water drainage.

3. No development shall commence until details of a Construction Surface Water Management Plan (CSWMP) detailing how surface water and storm water will be managed on the site during construction (including demolition and site clearance operations) is submitted to and agreed in writing by the local planning authority. The CSWMP shall be implemented and thereafter managed and maintained in accordance with the approved plan for the duration of construction. The approved CSWMP and shall include:
 - a. Method statements, scaled and dimensioned plans and drawings detailing surface water management proposals to include :-
 - i. Temporary drainage systems
 - ii. Measures for managing pollution / water quality and protecting controlled waters and watercourses

Reason: To ensure the development does not cause pollution of watercourses in line with the River Basin Management Plan

Regards

Denis Cooper

Flood and Water Engineer

Flood and Water Management

Growth, Highways and Infrastructure

Suffolk County Council

Tel: 01473 260907

email: denis.cooper@suffolk.gov.uk

Useful Links

[SCC Guidance on Development and SW flood risk](#)

-----Original Message-----

From: planningblue@baberghmidsuffolk.gov.uk <planningblue@baberghmidsuffolk.gov.uk>

Sent: 20 March 2020 06:51

To: RM Floods Planning <floods.planning@suffolk.gov.uk>

Subject: MSDC Planning Consultation Request - DC/20/01175

Please find attached planning consultation request letter relating to planning application - DC/20/01175 - Land Adj Port One Business And Logistics Park , Blackacre Hill, Bramford Road, Great Blakenham Suffolk IP6 0RL

Kind Regards

Planning Support Team

Emails sent to and from this organisation will be monitored in accordance with the law to ensure compliance with policies and to minimize any security risks. The information contained in this email or any of its attachments may be privileged or confidential and is intended for the exclusive use of the addressee. Any unauthorised use may be unlawful. If you receive this email by mistake, please advise the sender immediately by using the reply facility in your email software. Opinions, conclusions and other information in this email that do not relate to the official business of Babergh District Council and/or Mid Suffolk District Council shall be understood as neither given nor endorsed by Babergh District Council and/or Mid Suffolk District Council.

From: Peter Chisnall <Peter.Chisnall@babberghmidsuffolk.gov.uk>
Sent: 08 April 2020 14:42
To: BMSDC Planning Area Team Blue <planningblue@babberghmidsuffolk.gov.uk>
Subject: DC/20/01175

Dear Averil,

Proposal: Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping

Location: Land Adj Port One Business And Logistics Park , Blackacre Hill, Bramford Road, Great Blakenham Suffolk IP6 0RL

Many thanks for your request to comment on the sustainability aspects of this application.

I have viewed the applicant's documents and there is reference to the relevant Mid Suffolk sustainability policies within the Planning and Economic Statement.

I have no objection to the application and should the Planning Dept approve it I would suggest the following condition.

Prior to the commencement of development a scheme for the provision and implementation of water, energy and resource efficiency measures, during the construction and operational phases of the development shall be submitted to and approved, in writing, by the Local Planning Authority. The scheme shall include a clear timetable for the implementation of the measures in relation to the construction and occupancy of the development. The scheme shall be constructed and the measures provided and made available for use in accordance with such timetable as may be agreed.

The Sustainability & Energy Strategy must be provided detailing how the development will minimise the environmental impact during construction and occupation (as per policy CS3, and NPPF) including details on environmentally friendly materials, construction techniques minimisation of carbon emissions and running costs and reduced use of potable water (suggested maximum of 105ltr per person per day).

Details as to the provision for electric vehicles should also be included please see the Suffolk Guidance for Parking, published on the SCC website on the link below:

<https://www.suffolk.gov.uk/planning-waste-and-environment/planning-and-development-advice/parking-guidance/>

The document should clearly set out the unqualified commitments the applicant is willing to undertake on the topics of energy and water conservation, CO2 reduction, resource conservation, use of sustainable materials and provision for electric vehicles.

Clear commitments and minimum standards should be declared and phrases such as 'where possible, subject to, where feasible' must not be used.

Evidence should be included where appropriate demonstrating the applicants previous good work and standards achieved in areas such as site waste management, eg what recycling rate has the applicant achieved in recent projects to show that their % recycling rate commitment is likely.

Reason – To enhance the sustainability of the development through better use of water, energy and resources. This condition is required to be agreed prior to the commencement of any development as any construction process, including site preparation, has the potential to include energy and resource efficiency measures that may improve or reduce harm to the environment and result in wider public benefit in accordance with the NPPF.

Guidance can be found at the following locations:

<https://www.midsuffolk.gov.uk/environment/environmental-management/planning-requirements/>

Regards,

Peter

Peter Chisnall, CEnv, MIEMA, CEnvH, MCIEH
Environmental Management Officer
Babergh and Mid Suffolk District Council - Working Together
Tel: 01449 724611
Email: peter.chisnall@baberghmidsuffolk.gov.uk
www.babergh.gov.uk www.midsuffolk.gov.uk

-----Original Message-----

From: BMSDC Public Realm Consultation Mailbox

<consultpublicrealm@baberghmidsuffolk.gov.uk>

Sent: 26 March 2020 14:14

To: BMSDC Planning Area Team Blue <planningblue@baberghmidsuffolk.gov.uk>

Subject: RE: MSDC Planning Consultation Request - DC/20/01175

Public Realm do not wish to offer any comments on this planning application

Regards

Dave Hughes

Public Realm Team

-----Original Message-----

From: planningblue@baberghmidsuffolk.gov.uk <planningblue@baberghmidsuffolk.gov.uk>

Sent: 20 March 2020 06:47

To: BMSDC Public Realm Consultation Mailbox

<consultpublicrealm@baberghmidsuffolk.gov.uk>

Subject: MSDC Planning Consultation Request - DC/20/01175

Please find attached planning consultation request letter relating to planning application - DC/20/01175 - Land Adj Port One Business And Logistics Park , Blackacre Hill, Bramford Road, Great Blakenham Suffolk IP6 0RL

Kind Regards

Planning Support Team

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Babergh District Council and Mid Suffolk District Council (BMSDC) will be Data Controllers of the information you are providing. As required by the Data Protection Act 2018 the information will be kept safe, secure, processed and only shared for those purposes or where it is allowed by law. In some circumstances however we may need to disclose your personal details to a third party so that they can provide a service you have requested, or fulfil a request for information. Any information about you that we pass to a third party will be held securely by that party, in accordance with the Data Protection Act 2018 and used only to provide the services or information you have requested.

For more information on how we do this and your rights in regards to your personal information and how to access it, visit our website.

From: Paul Harrison <Paul.Harrison@babberghmidsuffolk.gov.uk>

Sent: 07 April 2020 16:22

To: Vincent Pearce <Vincent.Pearce@babberghmidsuffolk.gov.uk>; BMSDC Planning Area Team Blue <planningblue@babberghmidsuffolk.gov.uk>

Subject: DC 20 01175 Great Blakenham

Vincent

Heritage consultation response.

I do not wish to offer comment on this application.

Paul

Paul Harrison



Consultation Response Pro forma

1	Application Number	DC/20/1175 Gt Blakenham	
2	Date of Response	1 April 2020	
3	Responding Officer	Name:	Dawn Easter
		Job Title:	Economic Development Officer
		Responding on behalf of...	Economic Development Team
4	Recommendation Note: This section must be completed before the response is sent. The recommendation should be based on the information submitted with the application.	<p>The Economic Development Team</p> <p>No Objection</p>	
5	Discussion Please outline the reasons/rationale behind how you have formed the recommendation. Please refer to any guidance, policy or material considerations that have informed your recommendation.	<p>This application contains land that is a natural extension to the existing Port One Business Park which is currently under construction and the application also deals with the masterplanning and phased development of land included in pp 2351/16.</p> <p>The location near to junction 52 of the A45 and close to the Copdock interchange with the A12 makes it attractive to Port-Centric logistics and also for regional manufacturing and distribution operations and therefore it is a strategic employment site for the district. The increase in size of the Business Park will help to support future economic growth in the Ipswich Fringe Area. The expanded site would also support up to 675 FTE new jobs for the district.</p> <p>The height and scale of the proposed buildings on the site reflects the demand for larger sized premises, especially to support the latest high tech logistics & distribution operations as well as the industrial nature of existing surrounding commercial activities.</p> <p>This is land that can be developed and brought to the market relatively quickly to help support future recovery and growth for both the local and regional economy. I, therefore, support the application.</p>	
6	Amendments, Clarification or Additional Information Required		

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

	(if holding objection) If concerns are raised, can they be overcome with changes? Please ensure any requests are proportionate	
7	Recommended conditions	

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

From: David Harrold <David.Harrold@baberghmidsuffolk.gov.uk>

Sent: 30 March 2020 10:26

To: BMSDC Planning Mailbox <planning@baberghmidsuffolk.gov.uk>

Cc: Averil Goudy <Averil.Goudy@baberghmidsuffolk.gov.uk>

Subject: Plan ref DC/20/01175 Land Adj Port One, Blackacre Hill, Bramford Road, Great Blakenham. Environmental Health - Noise/Odour/Light/Smoke

Thank you for consulting me on the above outline application for the extension to Port One Business and Logistics Park. I understand from the application form, this extension will be for B8 use with hours of operation to include day and nighttime operation, 7 days a week.

In support of the application, I note the noise impact assessment submitted by Sharps Redmore Acoustic Consultants. This assessment comprises a background noise survey and assessment of likely levels of operational noise using BS 4142 "Method for Rating and Assessing Industrial and Commercial Sound". The impact assessment is made with particular reference to unit 9 of the development. This unit is nearest to residential premises.

The report concludes that with suitable noise mitigation measures for external plant and loading/unloading activities (such as a noise barrier), the site is suitable for use. I concur with this view and confirm in respect of noise and 'other' environmental health issues that I do not have any objection to the proposed development.

However until the final use and operation is known, it is not possible to advise further on the extent and degree of these mitigation measures (if any).

I would, therefore, require further information at the detailed application stage and recommend the following conditions should approval be granted:

- 1) Prior to the occupation of unit 9, the applicant is required to submit an assessment carried out in accordance with BS 4142 to show that noise from machinery and equipment, including any external ventilation or refrigeration equipment and external noise from delivery vehicles including loading, will not have an adverse impact on occupiers of any noise sensitive premises. The assessment shall include details of any mitigation measures to be implemented, for the approval of the Local Planning Authority.

I would also recommend appropriate conditions to mitigate against adverse impacts from lighting and noise during construction commensurate with approval ref 2351/16, as follow:

- 2) No means of external lighting shall be installed or attached to the commercial units except in accordance with details of an illumination scheme (to include luminaire types, position, height, aiming points, lighting levels and a polar illuminance diagram, based on the vertical plane to reflect impact on surrounding residents) which shall have been submitted to and approved in writing by the Local Planning Authority and shall be implemented and retained as approved.
- 3) The working hours during construction shall be restricted to 0730 hrs to 1800 hrs Mondays to Fridays and 0800 hrs and 1300 hrs on Saturdays. There shall be no working hours on Sundays or Bank Holidays.

Reason: To protect the occupiers of the neighbouring residential properties suffering loss of amenity or nuisance.

I trust this advice is of assistance.

David Harrold MCIEH
Senior Environmental Health Officer

Babergh & Midsuffolk District Councils
t: 01449 724718
e: david.harrold@babermidsuffolk.gov.uk



1st October 2020

Katherine Hale
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich IP1 2BX

By email only

Thank you for requesting advice on this outline application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.

Application: DC/20/01175
Location: Land Adj Port One Business And Logistics Park Blackacre Hill Bramford Road Great Blakenham Suffolk IP6 ORL
Proposal: Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping

Dear Katherine,

Thank you for re-consulting Place Services on the above outline application.

No objection subject to securing biodiversity mitigation, compensation and enhancements

Summary

We have reviewed the recently updated Tree (Bat) Roost Assessment Rev 3 (Abrehart Ecology Ltd, 24 Sept 2020). This report now includes the results of further aerial inspection of potential roost features in all trees assessed as having moderate & high suitability for bats which will be directly impacted by the development. As this recent survey found no evidence of bat usage and no signs of bats were found in any of the features explored, this now provides certainty of likely impacts to bats (European Protected Species).

We welcome the statement that any trees to be impacted by works will be subject to further assessment before felling or remedial works and recommend that this is secured by a condition of any consent. This could include soft felling, climb and inspect surveys, or emergence/return to roost surveys.



The above report is in addition to submitted documents - Preliminary Ecological Appraisal – Port One St James’ Park (January 2019), the Preliminary Ecological Appraisal – Port One Business Park (January 2020), Badger (*Meles meles*) Survey Report (June 2020), Great Crested Newt (*Triturus cristatus*) Survey Report (August 2020), Great Crested Newt (*Triturus cristatus*) Outline Mitigation Strategy (August 2020), the Phase 3 - Reptile Survey Report- Rev A (August 2020) and the Phase 3 & 4 - Bat Survey Assessment – Rev B (August 2020) - undertaken by Abrehart Ecology Ltd on behalf of the applicant - should be secured and implemented in full. This is necessary to conserve and enhance Protected and Priority Species particularly Gt crested newts, badgers and bats.

We are now satisfied that there is sufficient ecological information on protected species to provide certainty to the LPA of likely impacts and that mitigation can be secured either by a condition of any consent or a mitigation licence from Natural England.

The letter from Abrehart Ecology Ltd (24 Sept 2020) relating to the Tree (Bat) Roost Assessment confirms that planned mitigation for the overall Phased development includes sensitive lighting along retained and created commuting corridors. This will minimise risk of disturbance to bats roosting within retained trees or commuting across the local landscape from the nearby SSSI. Furthermore, bat boxes will be installed on retained trees and a dedicated ‘bat house’ will be created within wildlife areas. These are proposed to not only offset any loss of roosting opportunities, but to enhance roosting opportunities for bats in the local area – particularly through the increase in hibernating potential. We recommend that these mitigation measures are secured by a condition of any consent.

We note that the further Great Crested Newt (*Triturus cristatus*) Outline Mitigation Strategy (August 2020), demonstrates how mitigation and compensation measures will be delivered for the excellent population of Great Crested Newts contained within the site. As a result, we are satisfied that the LPA will have regard to Conservation of Habitats and Species Regulations 2017 (as amended) when issuing a decision for this European Protected Species, by having certainty that an European Protected Species Mitigation (EPSM) licence will likely be granted for this application. This EPSM Licence will need to be secured as a prior to commencement condition if this application is approved.

We are also satisfied with the further clarification provided to indicate why the reptile survey areas (A & B) are small in size in comparison to the wider site. Therefore, we recommend that a Construction Environmental Management Plan (CEMP: Biodiversity) will need to be secured as a condition of any consent for discharge prior to commencement, which contains the finalised Reptile Mitigation Strategy for this application.

We note that a Bat Activity Survey was completed on the western boundary in 2016 for the granted application (2351/16) and it is accepted that minimal activity was noted. In addition, we note that further bat activity surveys have now been completed, which consist of Transect Surveys, a stationary survey of the Lagoon, as well as several static detectors surveys. These surveys specifically focus on Natterers and Daubentons bats, to determine the extent of the impacts of the qualifying features of the Little Blakenham Pit Site of Special Scientific Interest’s (SSSI). These activity surveys carried out in 2017 and 2020 found low numbers of bats using this tree line. The timings of bat activity and species recorded indicated that individual pipistrelles (likely males) were using the tree line, possibly for



roosting. These surveys indicate a likely absence of roosts of high conservation interest, such as maternity roosts.

It is recommended that information on a wildlife sensitive lighting design scheme should be provided in line with the [Guidance note 8 - Bats and artificial lighting in the UK \(ILP, 2018\)](#). This should provide recommendations to avoid adverse impacts from lighting to bats and at a minimum provide locations of where lighting should avoid impacts on key habitats. This should be secured by a condition of any consent.

We also support the proposed reasonable biodiversity enhancements as contained in the above submitted Abrehart Ecology reports, which have been recommended to secure measurable net gains for biodiversity, as outlined under Paragraph 170d of the National Planning Policy Framework 2019. The reasonable biodiversity enhancement measures should be outlined within a Biodiversity Enhancement Layout for each phase of development and should be secured prior to slab level. It is recommended that this should include provision of measures within the built and natural elements of each phase of the development.

This information will enable the LPA to demonstrate compliance with its statutory duties, including its biodiversity duty under s40 NERC Act 2006.

Impacts will be minimised such that the proposal is acceptable subject to the conditions below based on BS42020:2013. In terms of biodiversity net gain, the enhancements proposed will contribute to this aim.

Submission for approval and implementation of the details below should be a condition of any planning consent:

Recommended conditions

1. CONCURRENT WITH RESERVED MATTERS FOR EACH PHASE: ACTION REQUIRED IN ACCORDANCE WITH ECOLOGICAL APPRAISALS RECOMMENDATIONS

“All ecological mitigation & enhancement measures and/or works shall be carried out in accordance with the details contained in the- Preliminary Ecological Appraisal – Port One St James’ Park (January 2019), the Preliminary Ecological Appraisal – Port One Business Park (January 2020), Badger (Meles meles) Survey Report (June 2020), Great Crested Newt (Triturus cristatus) Survey Report (August 2020), Great Crested Newt (Triturus cristatus) Outline Mitigation Strategy (August 2020), the Phase 3 - Reptile Survey Report- Rev A (August 2020) and the Phase 3 & 4 - Bat Survey Assessment – Rev B (August 2020) and Tree (Bat) Roost Assessment Rev 3 (September 2020) - all undertaken by Abrehart Ecology Ltd as already submitted with the planning application and agreed in principle with the local planning authority prior to determination.

This may include the appointment of an appropriately competent person e.g. an ecological clerk of works (ECoW,) to provide on-site ecological expertise during construction. The appointed person shall undertake all activities, and works shall be carried out, in accordance with the approved details.”



Reason: To conserve and enhance protected and Priority species and allow the LPA to discharge its duties under the UK Habitats Regulations, the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species) and s17 Crime & Disorder Act 1998.

2. CONCURRENT WITH RESERVED MATTERS: PRIOR TO COMMENCEMENT: SUBMISSION OF A COPY OF NATURAL ENGLAND MITIGATION LICENCE FOR GREAT CRESTED NEWT

"The proposals shall not in in any circumstances commence unless the local planning authority has been provided with either:

- a) a licence issued by Natural England pursuant to Regulation 55 of The Conservation of Habitats and Species Regulations 2017 (as amended) authorizing the specified activity/development to go ahead; or*
- b) a certificate to confirm site registration under the GCN District Level Licence countersigned by Natural England; or*
- c) a statement in writing from the relevant licensing body to the effect that it does not consider that the specified activity/development will require a licence."*

Reason: To conserve protected and Priority species and allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 and s17 Crime & Disorder Act 1998.

3. CONCURRENT WITH RESERVED MATTERS: PRIOR TO COMMENCEMENT: SUBMISSION OF A COPY OF THE MITIGATION LICENCE FOR BADGERS

"The sett closure shall not in in any circumstances commence unless the local planning authority has been provided with either:

- a) a licence issued by Natural England pursuant Badger Protection Act 1992 authorizing the specified activity/development to go ahead; or*
- b) a statement in writing from the relevant licensing body to the effect that it does not consider that the specified activity/development will require a licence."*

Reason: To conserve protected species and allow the LPA to discharge its duties under and Badger Protection Act 1992 and s17 Crime & Disorder Act 1998.

4. CONCURRENT WITH RESERVED MATTERS: PRIOR TO COMMENCEMENT: CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN: BIODIVERSITY

"A construction environmental management plan (CEMP: Biodiversity) shall be submitted to and approved in writing by the local planning authority.

The CEMP (Biodiversity) shall include the following.

- a) Finalised Reptile Mitigation Strategy*
- b) Risk assessment of potentially damaging construction activities.*
- c) Identification of "biodiversity protection zones".*



- d) *Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction (may be provided as a set of method statements).*
- e) *The location and timing of sensitive works to avoid harm to biodiversity features.*
- f) *The times during construction when specialist ecologists need to be present on site to oversee works.*
- g) *Responsible persons and lines of communication.*
- h) *The role and responsibilities on site of an ecological clerk of works (ECoW) or similarly competent person.*
- i) *Use of protective fences, exclusion barriers and warning signs.*
- j) *Containment, control and removal of any Invasive non-native species present on site*

The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the local planning authority”

Reason: To conserve protected and Priority species and allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species).

5. CONCURRENT WITH RESERVED MATTERS PRIOR TO SLAB LEVEL: BIODIVERSITY ENHANCEMENT

“A Biodiversity Enhancement Layout, providing the finalised details and locations of the enhancement measures contained within the submitted Abrehart Ecology reports, shall be submitted to and approved in writing by the local planning authority.

The enhancement measures shall be implemented in accordance with the approved details and all features shall be retained in that manner thereafter.”

Reason: To enhance Protected and Priority Species and allow the LPA to discharge its duties under the s40 of the NERC Act 2006 (Priority habitats & species).

6. CONCURRENT WITH RESERVED MATTERS PRIOR TO BENEFICIAL USE: LANDSCAPE AND ECOLOGICAL MANAGEMENT PLAN

“A Landscape and Ecological Management Plan (LEMP) shall be submitted to, and be approved in writing by, the local planning authority prior occupation of the development.

The content of the LEMP shall include the following:

- a) *Description and evaluation of features to be managed.*
- b) *Ecological trends and constraints on site that might influence management.*
- c) *Aims and objectives of management.*
- d) *Appropriate management options for achieving aims and objectives.*
- e) *Prescriptions for management actions.*
- f) *Preparation of a work schedule (including an annual work plan capable of being rolled forward over a five-year period).*
- g) *Details of the body or organisation responsible for implementation of the plan.*



h) *Ongoing monitoring and remedial measures.*

The LEMP shall also include details of the legal and funding mechanism(s) by which the long-term implementation of the plan will be secured by the developer with the management body(ies) responsible for its delivery. The plan shall also set out (where the results from monitoring show that conservation aims and objectives of the LEMP are not being met) how contingencies and/or remedial action will be identified, agreed and implemented so that the development still delivers the fully functioning biodiversity objectives of the originally approved scheme. The approved plan will be implemented in accordance with the approved details."

Reason: To allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species)

6. CONCURRENT WITH RESERVED MATTERS: PRIOR TO BENEFICIAL USE: WILDLIFE SENSITIVE LIGHTING DESIGN SCHEME

"A lighting design scheme for biodiversity shall be submitted to and approved in writing by the local planning authority. The scheme shall identify those features on site that are particularly sensitive for bats and that are likely to cause disturbance along important routes used for foraging; and show how and where external lighting will be installed (through the provision of appropriate lighting contour plans, Isolux drawings and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent bats using their territory.

All external lighting shall be installed in accordance with the specifications and locations set out in the scheme and maintained thereafter in accordance with the scheme. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority."

Reason: To allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species)

7. ACTION REQUIRED: TIME LIMIT ON DEVELOPMENT BEFORE FURTHER SURVEYS ARE REQUIRED

"If any phase of development hereby approved does not commence within 18 months years from the date of the planning consent, the approved ecological mitigation measures secured through condition shall be reviewed and, where necessary, amended and updated.

The review shall be informed by further ecological surveys commissioned to:

- i. establish if there have been any changes in the presence and/or distribution or abundance of Great crested newt, bats (particularly in trees), reptiles or badgers and*
- ii. identify any likely new ecological impacts that might arise from any changes.*
- iii. determine impacts upon the qualifying features of the Little Blakenham Pit SSSI,*



Where the survey results indicate that changes have occurred that will result in ecological impacts not previously addressed in the approved scheme, the original approved ecological measures will be revised and new or amended measures, and a timetable for their implementation, will be submitted to and approved in writing by the local planning authority prior to the commencement of any phase of development.

Works will then be carried out in accordance with the proposed new approved ecological measures and timetable.”

Reason: To allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species)

Please contact us with any queries.

Yours sincerely,

Sue Hooton CEnv MCIEEM BSc (Hons)

Principal Ecological Consultant

placeservicesecology@essex.gov.uk

Place Services provide ecological advice on behalf of Mid Suffolk District Council

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



11 September 2020

Katherine Hale
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich IP1 2BX

By email only

Thank you for requesting advice on this outline application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.

Application: DC/20/01175
Location: Land Adj Port One Business And Logistics Park Blackacre Hill Bramford Road Great Blakenham Suffolk IP6 ORL
Proposal: Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping

Dear Katherine,

Thank you for re-consulting Place Services on the above application.

Holding objection due to insufficient ecological information on European Protected Species

Summary

We have reviewed the Preliminary Ecological Appraisal – Port One St James' Park (January 2019), the Preliminary Ecological Appraisal – Port One Business Park (January 2020), Badger (*Meles meles*) Survey Report (June 2020), Great Crested Newt (*Triturus cristatus*) Survey Report (August 2020), Great Crested Newt (*Triturus cristatus*) Outline Mitigation Strategy (August 2020), the Phase 3 - Reptile Survey Report- Rev A (August 2020) and the Phase 3 & 4 - Bat Survey Assessment – Rev B (August 2020) undertaken by Abrehart Ecology Ltd on behalf of the applicant, relating to the likely impacts of development on Designated Sites, Protected and Priority Species & Habitats.

We are satisfied that the further Great Crested Newt (*Triturus cristatus*) Outline Mitigation Strategy (August 2020), demonstrates how mitigation and compensation measures will be delivered for the excellent population of Great Crested Newts contained within the site. As a result, we are satisfied that the LPA will have regard to Conservation of Habitats and Species Regulations 2017 (as amended) when issuing a decision for this European Protected Species, by having certainty that an European



Protected Species Mitigation (EPSM) licence will likely be granted for this application. This EPSM Licence will need to be secured as a prior to commencement condition if this application is approved.

We are also satisfied with the further clarification provided to indicate why the reptile survey areas (A & B) are small in size in comparison to the wider site. Therefore, if this application is approved, a Construction Environmental Management Plan (CEMP: Biodiversity) will need to be secured as a condition of any consent prior to commencement, which contains the finalised Reptile Mitigation Strategy for this application.

However, we are still are not satisfied that sufficient information is available for determination of this application, because insufficient information has been provided for bats – European Protected Species.

Further Information on Bat – European Protected Species:

The Phase 3 & 4 - Bat Survey Assessment – Rev B (August 2020) indicates that a number of trees with bat roost potential are still subject to further aerial / emergence surveys. These further surveys are required prior to determination to identify whether bats are likely to be present and affected by the proposed tree felling. As a result, the LPA does not have certainty of likely impacts for bats until these aerial / emergence surveys have been completed in full.

In addition, it is still not clear where the locations of the trees with roosting features for bats are present within the application site, their individual roosting suitability (Low, moderate, high) or whether they will be removed to facilitate the proposed works. Furthermore, the extent of the survey effort undertaken for each individual tree is still not clear from the details submitted. Therefore, this following further information should be outlined to allow the LPA to confirm that sufficient survey effort has been undertaken, in line with BCT Survey Guidelines (Collins, 2016).

In addition, we note that further bat activity surveys have now been completed, which consist of Transect Surveys, a stationary survey of the Lagoon, as well as several static detectors surveys. These surveys specifically focus on Natterers and Daubentons bats, to determine the extent of the impacts of the qualifying features of the Little Blakenham Pit Site of Special Scientific Interest's (SSSI).

However, we are not satisfied that the data submitted, as survey information has only been summarised by the applicant's ecologist. As a result, to ensure certainty of impacts for European Protected Species and determine impacts upon the qualifying features of the Little Blakenham Pit SSSI, we request the following information is submitted for the activity surveys in line with BCT Survey Guidelines (Collins, 2016):

- a) Tables of bats recorded/observed (including time, species, number of passes, behaviour observed) where low numbers or this information summarised where higher numbers recorded;
- b) the above information summarised on an annotated plan or aerial photograph of the site.

Furthermore, we note that part of the plantation woodland will be removed to the west of the site to facilitate the development. As a result, we request that further justification is supplied by the applicant's ecologist to indicate why the activity survey did not extend to western boundary, when



woodland and boundary feature will be affected by the proposed development. This is necessary as there is a possibility that this will cause changes to commuting flight paths and foraging habitats of bats within the ZOI of Little Blakenham Pit SSSI. We note that a Bat Activity Survey was completed on this boundary in 2016 for the granted application (2351/16) and it is accepted that minimal activity was noted. However, this survey is now out of date based following the Chartered Institute of Ecology and Environmental Management (CIEEM) - Advice note on the Lifespan of Ecological Reports and Surveys (April 2019) - <https://cieem.net/wp-content/uploads/2019/04/Advice-Note.pdf>.

In addition, it is recommended that information should be provided in line with the [Guidance note 8 - Bats and artificial lighting in the UK \(ILP, 2018\)](#). This should provide recommendations to avoid adverse impacts from lighting to bats and at a minimum provide locations of where lighting should avoid impacts on key habitats.

This further information is required prior to determination because the Local Planning Authority must consider the guidance under paragraph 99 of the ODPM Circular 06/2005. This advises that the presence or otherwise of protected species, and the extent to which they might be affected by the proposed development, must be established before planning permission is granted. Therefore, if there is a reasonable likelihood of protected species being present and affected by the development, the surveys should be completed and any necessary measures to protect the species should be in place before the permission is granted (Based on the judgement in the Mrs Brown (Appellant) v Mid Suffolk Council [2017] - APP/W3520/W/17/3174638).

Furthermore, the Local Planning Authority, as a competent authority, should have regard to the requirements of The Conservation of Habitats and Species Regulations 2017 (as amended) when reaching planning decisions and must not leave this until the licence application stage. (Based on the judgement in the Hack Green Group (Appellant) v Cheshire East Council [2006] - APP/R0660/W/15/3131662). Therefore, if a European Protected Species Mitigation Licence is required for bats for this application, appropriate mitigation measures to support the provision of the licence must also be outlined prior to determination to allow certainty to the LPA that a licence will likely be granted.

We look forward to working with the LPA and the applicant to provide the additional information to overcome the holding objection and support a lawful decision.

Please contact us with any queries.

Yours sincerely,

Hamish Jackson ACIEEM BSc (Hons)
Ecological Consultant
placeservicesecology@essex.gov.uk

Place Services provide ecological advice on behalf of Mid Suffolk District Council

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



08 July 2020

Elizabeth Flood
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich IP1 2BX

By email only

Thank you for requesting advice on this outline application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.

Application: DC/20/01175
Location: Land Adj Port One Business And Logistics Park Blackacre Hill Bramford Road Great Blakenham Suffolk IP6 ORL
Proposal: Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping

Dear Elizabeth.

Thank you for consulting Place Services on the above application.

Holding objection due to insufficient ecological information on European Protected Species and UK Protected Species.

Summary

We have reviewed the Preliminary Ecological Appraisal – Port One St James' Park (January 2019), the Preliminary Ecological Appraisal – Port One Business Park (January 2020), Great Crested Newt (*Triturus cristatus*) Survey Report (June 2020), Badger (*Meles meles*) Survey Report (June 2020), the Phase 3 - Reptile Survey Report (June 2020) and the Phase 3 & 4 - Bat Survey Assessment (June 2020) undertaken by Abrehart Ecology Ltd on behalf of the applicant, relating to the likely impacts of development on Designated Sites, Protected and Priority Species & Habitats.

We still are not satisfied that sufficient information is available for determination of this application. As a result, we have the following ecological comments for this application:

European Protected Species – Bats:

We note that the further the Phase 3 & 4 - Bat Survey Assessment has identified that a number of trees with bat potential is proposed to be removed to facilitate the development. However, it is not



clear for the information submitted where the locations of the trees with roost features for bats, or their individual roosting suitability in line with BCT Survey Guidelines (Collins, 2016). As a result, it is clear that further surveys are required prior to determination to identify whether bats are likely to be present and affected by the proposed tree felling. However, any further survey information should demonstrate the extent of the survey effort required/undertaken to allow the LPA to have certainty on these European Protected Species.

Furthermore, we note that one activity transect survey has been undertaken as part of the surveys conducted for the Phase 3 & 4 - Bat Survey Assessment. This identified that nine species of bat were using the site. This included high usage by Daubenton's bats over the slurry lagoon and the present of a Barbastelle bat foraging over the same location. However, further transect and static surveys have been recommended by the applicant's ecologist to identify how foraging and commuting bats are utilising the site. Therefore, these surveys are required to identify the extent of the impacts to European Protected Species and the qualifying features of the Great Blakenham Pit and Little Blakenham Pit Site of Special Scientific Interest's (SSSI). The finalised surveys should be used to inform landscape proposals and bat mitigation strategies, which should include consideration of illumination limit zonation and follow the guidance set out under [Guidance note 8 - Bats and artificial lighting in the UK \(ILP, 2018\)](#).

This is required prior to determination because the Local Planning Authority must consider the guidance under paragraph 99 of the ODPM Circular 06/2005. This advises that the presence or otherwise of protected species, and the extent to which they might be affected by the proposed development, must be established before planning permission is granted. Therefore, if there is a reasonable likelihood of protected species being present and affected by the development, the surveys should be completed and any necessary measures to protect the species should be in place before the permission is granted (Based on the judgement in the Mrs Brown (Appellant) v Mid Suffolk Council [2017] - APP/W3520/W/17/3174638).

Furthermore, the Local Planning Authority, as a competent authority, should have regard to the requirements of The Conservation of Habitats and Species Regulations 2017 (as amended) when reaching planning decisions and must not leave this until the licence application stage. (Based on the judgement in the Hack Green Group (Appellant) v Cheshire East Council [2006] - APP/R0660/W/15/3131662). Therefore, as a European Protected Species Mitigation Licence is required for this application, appropriate mitigation measures to support the provision of the licence must also be outlined prior to determination to allow certainty to the LPA that a licence will likely be granted.

European Protected Species – Great Crested Newt:

We have reviewed the submitted Great Crested Newt (*Triturus cristatus*) Survey Report, which indicates the presence of an 'excellent' population of the European Protected Species is present within 500 metres of the site. As a result, a European Protected Species Mitigation Licence will be required from Natural England for this application.

We approve that a new slurry lagoon and two new wildlife ponds will be delivered to provide breeding habitat for Great Crested Newt within the Phase 3 area. We also approve of the provision of



hibernacula to create over-wintering habitat for this European Protected Species. However, it is highlighted that the mitigation strategy during the construction phase will need to be outlined prior to determination of this application. This is necessary to ensure that the LPA has regard of the Conservation of Habitats and Species Regulations 2017 (as amended) when issuing a decision, by having certainty that an EPSM licence will likely be granted for this application.

UK Protected Species – Reptiles:

We have reviewed the Reptile Survey Report and note that a low' population of Common Lizards is present. However, we note that the reptile survey areas (A & B) are only small areas within the site. Therefore, we recommend that an amended Reptile Survey Report should be supplied by the applicant's ecologist prior to determination. This should justify why the areas surveyed are sufficient to estimate the reptile population size across the site, by indicating that they have covered all suitable habitat present on site.

If we agree with this further justification, then it is highlighted that a mitigation strategy for the low population of Common Lizards can be secured via a condition of any consent to be delivered prior to commencement. However, if further suitable habitat is present, then we recommend that further reptile population surveys should be conducted in September for this application.

UK Protected Species – Badgers:

We have reviewed that Badger (*Meles meles*) Survey Report and note that the proposals will cause damage or disturbance to a main and subsidiary badger sett, as well as several outlier setts. As a result, a mitigation strategy will need to be identified for the badgers present on site, which will include an artificial sett as compensation for the main badger sett. This mitigation strategy can be secured via a condition of any consent to be delivered prior to commencement, along with the Natural England Licence for the closure of the setts.

We look forward to working with the LPA and the applicant to provide the additional information to overcome the holding objection and support a lawful decision.

Please contact us with any queries.

Yours sincerely,

Hamish Jackson ACIEEM BSc (Hons)
Ecological Consultant
placeservicesecology@essex.gov.uk

Place Services provide ecological advice on behalf of Mid Suffolk District Council

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



26 May 2020

Vincent Pearce
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich IP1 2BX

By email only

Thank you for requesting advice on this outline application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.

Application: DC/20/01175
Location: Land Adj Port One Business And Logistics Park Blackacre Hill Bramford Road Great Blakenham Suffolk IP6 ORL
Proposal: Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping

Dear Vincent,

Thank you for consulting Place Services on the above application.

Holding objection due to insufficient ecological information

Summary

We have reviewed the further submitted documents and note no further ecological information has been submitted for this scheme. As a result, we recommended that the initial consultation response from Ecology – Place Services (31 March 2020) still applies for this application.

In addition, on further review of the submitted Preliminary Ecological Appraisals it is advised that the further measures will need to be provided on how impacts will be avoided to Great Blakenham Pit and Little Blakenham Pit Site of Special Scientific Interest's (SSSI). This should be in line with Natural England's Consultation Response (January 2019) and must be supported by Bat Activity Surveys to address how the qualifying features of SSSI's are utilising the site.

The Bat Activity Surveys must be conducted by a suitably qualified ecologist following standard methodology. The surveys and any necessary measures for bats should be outlined prior to determination to allow the LPA to have certainty of impacts on legally protected and Priority species



and enable it to demonstrate compliance with its statutory duties, including its biodiversity duty under s40 NERC Act 2006.

We look forward to working with the LPA and the applicant to provide the additional information to overcome the holding objection and support a lawful decision.

Please contact us with any queries.

Yours sincerely,

Hamish Jackson BSc (Hons) GradCIEEM MRSB
Ecological Consultant
Ecology.placeservices@essex.gov.uk

Place Services provide ecological advice on behalf of Mid Suffolk District Council

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



31 March 2020

Averil Goudy
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich IP1 2BX

By email only

Thank you for requesting advice on this outline application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.

Application: DC/20/01175
Location: Land Adj Port One Business And Logistics Park Blackacre Hill Bramford Road Great Blakenham Suffolk IP6 ORL
Proposal: Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping

Dear Averil,

Thank you for consulting Place Services on the above application.

Holding objection due to insufficient ecological information

Summary

We have reviewed the Preliminary Ecological Appraisal – Port One St James' Park (Abrehart Ecology Ltd, January 2019) and the Preliminary Ecological Appraisal – Port One Business Park (Abrehart Ecology Ltd, January 2020), submitted by the applicant, relating to the likely impacts of development on Designated Sites, Protected and Priority Species & Habitats.

We are not satisfied that sufficient ecological information is available for determination.

This is because the Preliminary Ecological Appraisal's have recommended that further population surveys are required for Great Crested Newts, further Aerial Surveys are required for trees with Moderate – High bat roosting suitability, as well as further surveys for Badgers and reptiles.

Therefore, the Local Planning Authority must consider the guidance under paragraph 99 of the ODPM Circular 06/2005. This advises that the presence or otherwise of protected species, and the extent to



which they might be affected by the proposed development, must be established before planning permission is granted. Therefore, if there is a reasonable likelihood of protected species being present and affected by the development, the surveys should be completed and any necessary measures to protect the species should be in place before the permission is granted (*Based on the judgement in the Mrs Brown (Appellant) v Mid Suffolk Council [2017] - APP/W3520/W/17/3174638*).

In addition, the Local Planning Authority, as a competent authority, should have regard to the requirements of The Conservation of Habitats and Species (Amendment) (EU Exit) Regulations 2019 when reaching planning decisions and must not leave this until the licence application stage. (*Based on the judgement in the Hack Green Group (Appellant) v Cheshire East Council [2006] - APP/R0660/W/15/3131662*). Therefore, mitigation measures to support the provision of any European Protected Species must also be outlined prior to determination.

However, the professional ecologist must take into account COVID-19 when deciding whether to undertake further surveys. Therefore, it is acknowledged that [CIEEM Guidelines for Advice on COVID-19 and Undertaking Site-Based Ecological Work](#) may need to be considered for this application.

Consequently, further information is required to provide the LPA with certainty of impacts on legally protected and Priority species and enable it to demonstrate compliance with its statutory duties, including its biodiversity duty under s40 NERC Act 2006.

We look forward to working with the LPA and the applicant to provide the additional information to overcome the holding objection and support a lawful decision.

Please contact us with any queries.

Yours sincerely,

Hamish Jackson BSc (Hons) GradCIEEM MRSB
Ecological Consultant
Ecology.placeservices@essex.gov.uk

Place Services provide ecological advice on behalf of Mid Suffolk District Council

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



Planning Services
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich
IP1 2BX

04/09/2020

For the attention of: Katherine Hale

Ref: DC/20/01175; Land Adj Port One Business And Logistics Park , Blackacre Hill, Bramford Road, Great Blakenham

Thank you for re-consulting us on the application for Outline Planning Permission. (Access to be considered) for the extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping.

This letter sets out our consultation response in relation to the amended Tree Survey, AIA & Protection Plan (Dwg ref: LSDP 11365-08 Rev D) and revised Landscape Master Plan (Dwg ref: LSDP 11365-05 Rev G) in response to our previous comments.

We welcome the amendments that have been made in light of our comments, and we are now satisfied that although the scheme includes the removal of trees, sufficient effort has been made to retain trees and remnants of good quality and appropriate replacement planting across the site will be provided to help mitigate landscape and visual impacts.

However, if minded for approval we would recommend the LPA Arboriculture Officer is consulted to ensure they are satisfied with the proposals. Also, the following conditions should be considered to ensure the ongoing management and maintenance of the planting stock is adequate:

ACTION REQUIRED PRIOR TO COMMENCEMENT OF DEVELOPMENT: ADVANCED PLANTING.

Before any works commence on site, details of advance native planting to boundaries shall be submitted and approved by the Local Planning Authority. Implementation will need to be carried out prior to any other construction work and in accordance with an implementation timetable agreed in writing with the Local Planning Authority.

Reason - In order to ensure key structural / screening landscape planting is carried out at the earliest opportunity, in the interest of the landscape character and amenity of the locality, and the character, setting and significance of heritage assets.

ACTION REQUIRED PRIOR TO COMMENCEMENT OF DEVELOPMENT: LANDSCAPE MANAGEMENT PLAN.

No development shall take place until there has been submitted to and approved, in writing, by the Local Planning Authority a landscape management plan and associated work schedule for a minimum of 10 years. Both new and existing planting will be required to be included in the plan, along with surface treatments, SuDS features and all other landscape assets.

Reason - in the interest of the landscape character and amenity of the locality, and the character, setting and significance of heritage assets.

If you have any queries regarding any of these matters, please let me know.

Kind regards,

Ryan Mills BSc (Hons) MSc CMLI
Senior Landscape Consultant
Telephone: 03330320591
Email: ryan.mills@essex.gov.uk

Place Services provide landscape advice on behalf of Babergh and Mid Suffolk District Councils.

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.

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Planning Services
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich
IP1 2BX

16/07/2020

For the attention of: Elizabeth Flood

Ref: DC/20/01175; Land Adj Port One Business And Logistics Park , Blackacre Hill, Bramford Road, Great Blakenham

Thank you for re-consulting us on the application for Outline Planning Permission. (Access to be considered) for the extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping.

This letter sets out our consultation response in relation to the amended Landscape And Visual Impact Assessment (LVIA), Tree Survey, AIA & Protection Plan (Dwg ref: LSDP 11365-08 Rev C) and revised Landscape Master Plan (Dwg ref: LSDP 11365-05 Rev F) in response to our previous comments.

Although we welcome the amendments that have been made in light of our comments, our concerns relating to how the scheme responds to the existing landscape setting and the retention of landscape features still stands. Mid Suffolk Core Strategy (Adopted 2008) Policy CS 5 states that all “development will maintain and enhance the environment, including the historic environment, and retain the local distinctiveness of the area.” Furthermore, the Joint Babergh and Mid Suffolk District Council Landscape Guidance (August 2015) Para 2.3.4 refers to Location/Siting of development. It states “the Council will require special attention to be given to the siting, scale, design, materials, landscaping and general appearance of any new building or development in the countryside or on the edge of settlements so that its impact upon the character of the landscape is minimised.” This includes seeking to “retain historic landscape features such as hedges trees and respect the existing patterns of vegetation and enclosure”. The current proposal still fails to abide with these requirements and therefore we cannot be supportive of this application. If minded for approval, we would advise that the number of units is reduced and/or the building footprints are reduced to accommodate further existing landscape assets and reduce the the impact on landscape and visual amenity.

If you have any queries regarding any of these matters, please let me know.

Kind regards,

Ryan Mills BSc (Hons) MSc CMLI
Senior Landscape Consultant
Telephone: 03330320591
Email: ryan.mills@essex.gov.uk

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Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.





Planning Services
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich
IP1 2BX

22/05/2020

For the attention of: Vincent Pearce

Ref: DC/20/01175; Land Adj Port One Business And Logistics Park , Blackacre Hill, Bramford Road, Great Blakenham

Thank you for re-consulting us on the application for Outline Planning Permission. (Access to be considered) for the extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping.

This letter sets out our consultation response on the landscape impact of the planning application and how the proposal relates and respond to the landscape setting and context of the site. Relevant to this review, the applicant has submitted a Landscape And Visual Impact Assessment (LVIA) in response to our previous comments.

We welcome the LVIA that has been submitted in light of our comments. This assessment states it has been carried out in line with the principles set out on the third edition of "Guidelines for Landscape and Visual Impact Assessment"(GLVIA3) and includes an assessment of landscape and visual receptors. We agree that adverse visual impact will be concentrated to the immediate areas surrounding the site (public footpath to the south of the application site: V4) However, we have some concerns regarding the landscape assessment:

- The landscape and visual baseline has not been appropriately reviewed. For example, the value of landscape resources such as the landscape character type (The Suffolk Landscape Character Assessment - Rolling Vallet Farmland) and the nearby Special Landscape Area have not been referred to in the document.
- Magnitude of change results do not include the site clearance, construction and operational phases (1 year – 15 years) and how these may differ.
- We would argue that the Magnitude of Change for Landscape Receptor 1: Landscape Elements within Site would be substantial throughout site clearance, construction and the first few years of operation. Then, once woodland mitigation planting has matured, this would reduce to slight-moderate. For this reason, we believe the effect significance value should be assessed as medium.

Overall, we still have concerns that few existing landscape features are being retained such as T1 Oak and G5 Hedgerow remnants with oak standards and amendment, and that further measures could be in place to reduce the overall landscape and visual impact to coincide with Mid Suffolk Core Strategy (Adopted 2008) Policy CS 5 and the Joint Babergh and Mid Suffolk District Council Landscape Guidance (August 2015). For this reason, we would not be supportive of this application. However, if minded for approval we would advise the following recommendations are taken into consideration:

- Reconsider the number and/or the scale of the proposed units to reduce the visual and landscape impact.
- The layout of the plots should take into consideration the existing site landscape features, such as the Grade A tree (T1 Oak) and hedgerows (G5).
- Proposed mitigation woodland planting should be a range of stock sizes (standard trees to bare root stock) and implemented in advance of any construction works.

If you have any queries regarding any of these matters, please let me know.

Kind regards,

Ryan Mills BSc (Hons) MSc CMLI
Senior Landscape Consultant
Telephone: 03330320591
Email: ryan.mills@essex.gov.uk

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Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



Planning Services
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich
IP1 2BX

01/04/2020

For the attention of: Averil Goudy

Ref: DC/20/01175; Land Adj Port One Business And Logistics Park , Blackacre Hill, Bramford Road, Great Blakenham

Thank you for consulting us on the application for Outline Planning Permission. (Access to be considered) for the extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping.

This letter sets out our consultation response on the landscape impact of the planning application and how the proposal relates and respond to the landscape setting and context of the site.

Relevant to this review, the applicant has submitted a proposed Landscape Masterplan (Ref: LSDP 11365-05 Rev E), Visual Appraisal and Tree Survey, AIA & Protection plan (Ref: LSDP 11365-08 Rev B). The layout for the approved application (ref. 1755/17) was confined to the fields bounded by the tree plantations and woodland edges. However, this application proposes to go beyond these boundaries, extending further south into adjacent fields.

Currently the site does not fall within any locally designated landscape such as a 'special landscape area'. However, for the purposes of Paragraph 170 of the NPPF, non-designated areas can also be 'valued' depending on their local characteristics, quality and overall 'value'. The Suffolk Landscape Character Assessment defines the site and the surrounding area as part of the Rolling Valley Farmland landscape character type (LCT). Some of the key characteristics include; gentle valley sides with some complex and steep slopes, distinct areas of regular field patterns and small ancient woodlands on the valley fringes. The site itself is situated on the side of the river valley, with gently topography and small to medium sized fields enclosed by hedgerows and small pockets of woodland. The Tree Survey, AIA & Protection plan provides a survey of the quality of the existing trees and hedgerows on site, overlaid with a plan of the proposed development and consequently impacting on many existing features. For example, Grade A features such as T1 Oak and G5 Hedgerow remnants with oak standards are proposed for removal, even though they are of high quality, provide significant cultural value and have a useful life of 40+ years. This tells us that little thought has been given to how existing landscape features can be incorporated into the layout and design.

Mid Suffolk Core Strategy (Adopted 2008) Policy CS 5 states that all "development will maintain and enhance the environment, including the historic environment, and retain the local distinctiveness of the area." In terms of landscape this means that the Council will "protect and conserve landscape qualities taking into account the natural environment and the historical dimension of the landscape as a whole rather than concentrating solely on selected areas, protecting the District's most important components and encourage development that is consistent with conserving its overall character." Based on the proposed impact to existing landscape features, we deem the current proposal unacceptable and conflicting with Policy CS5.

Furthermore, the Joint Babergh and Mid Suffolk District Council Landscape Guidance (August 2015) Para 2.3.4 refers to Location/Siting of development. It states “the Council will require special attention to be given to the siting, scale, design, materials, landscaping and general appearance of any new building or development in the countryside or on the edge of settlements so that its impact upon the character of the landscape is minimised.” This includes seeking to “retain historic landscape features such as hedges trees and respect the existing patterns of vegetation and enclosure”. As with Policy CS5, this proposal does not abide to this guidance.

In addition, the Landscape & Arboricultural Supporting Information ‘Visual Appraisal’ states that ‘The majority of this document was prepared to support the existing planning permissions relating to the Business Park and is reproduced here, with salient updates.’ It also explains that “A Landscape & Visual Appraisal was prepared by Waterman in 2014 and is relevant to the current application; this document provides additional visual appraisal information prepared in 2016 and 2020 and is intended, in conjunction with the earlier report to demonstrate that landscape and visual impact has been considered and appropriate mitigation has been provided, where necessary.” In some instances we would agree with this methodology. However, in this case the application is for an increase of 8a of developable land, that extends further south, removing existing woodland belts that would have screened the majority of the approved scheme, and proposed units with ridge lines approx 5m higher than previous. This means the impact, both from a landscape and visual stand point, will be greater and therefore a revised appropriate assessment should be carried out to evaluate the impacts, if and how they can be avoided, and if not, how they can be mitigated effectively. At present, the additional ‘Visual Appraisal’ has not been produced with the principles set out on the third edition of "Guidelines for Landscape and Visual Impact Assessment"(GLVIA3) in mind and therefore needs to be amended to suit. For instance, we would expect all visual and landscape receptors to be re-assessed, both in terms of their sensitivity, and nature and extent of potential change. Also, as the site extends further south into adjacent fields, it may mean that additional viewpoints need to be reviewed to provide a comprehensive assessment.

As it stands, based on the reasons stated above, we would not be supportive of this application.

If you have any queries regarding any of these matters, please let me know.

Kind regards,

Ryan Mills BSc (Hons) MSc CMLI
Senior Landscape Consultant
Telephone: 03330320591
Email: ryan.mills@essex.gov.uk

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Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.

Application No: DC/20/01175

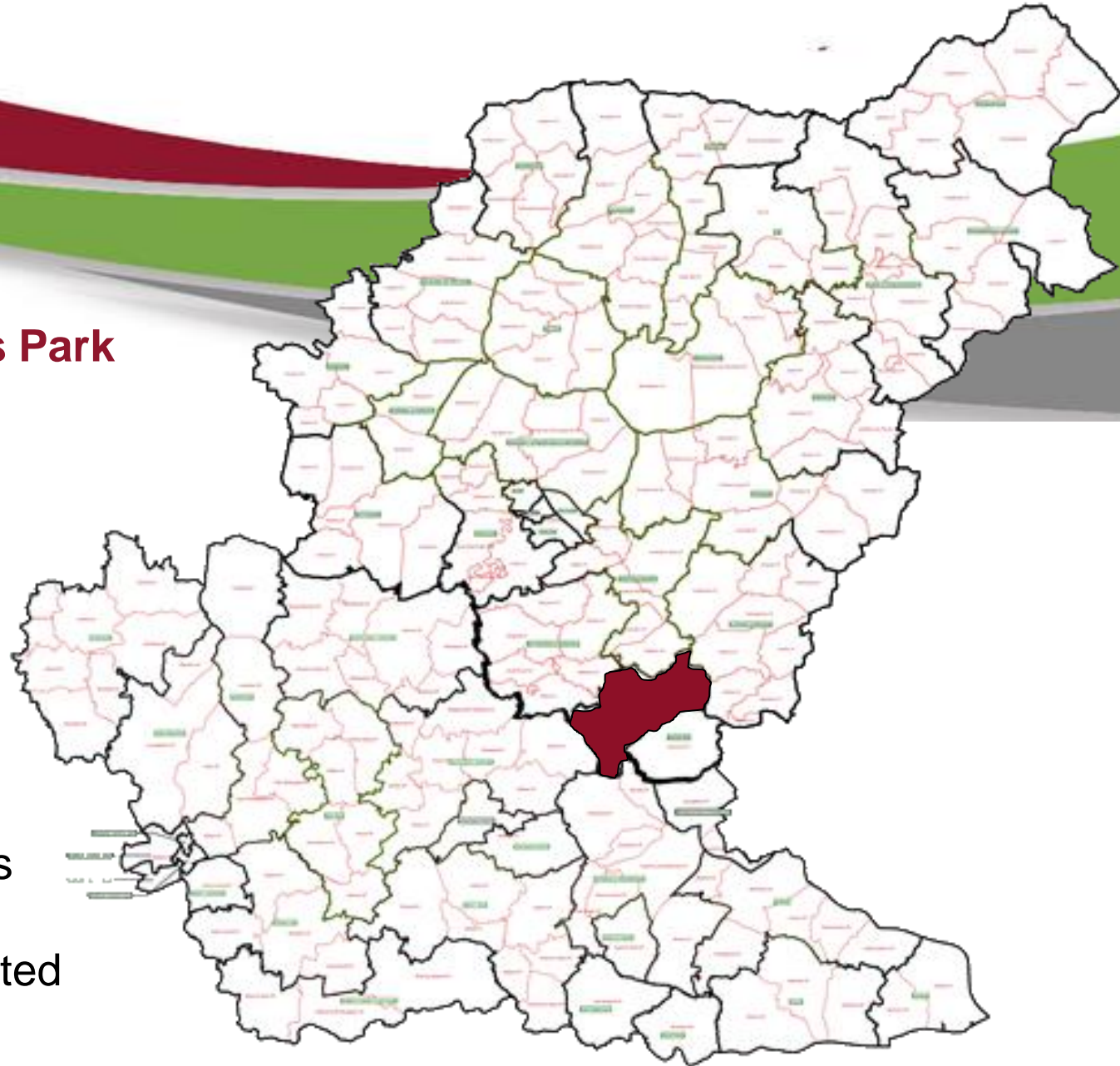
Address:

**Land Adj Port One Business and Logistics Park
Blackacre Hill
Bramford Road
Great Blakenham
Suffolk IP6 0RL**

Proposal:

Outline Planning Permission.
(Access to be considered)

Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping



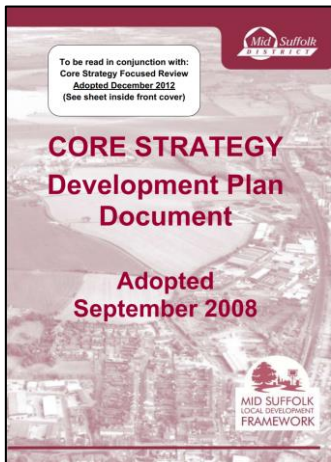
GREAT BLAKENHAM

Page 236

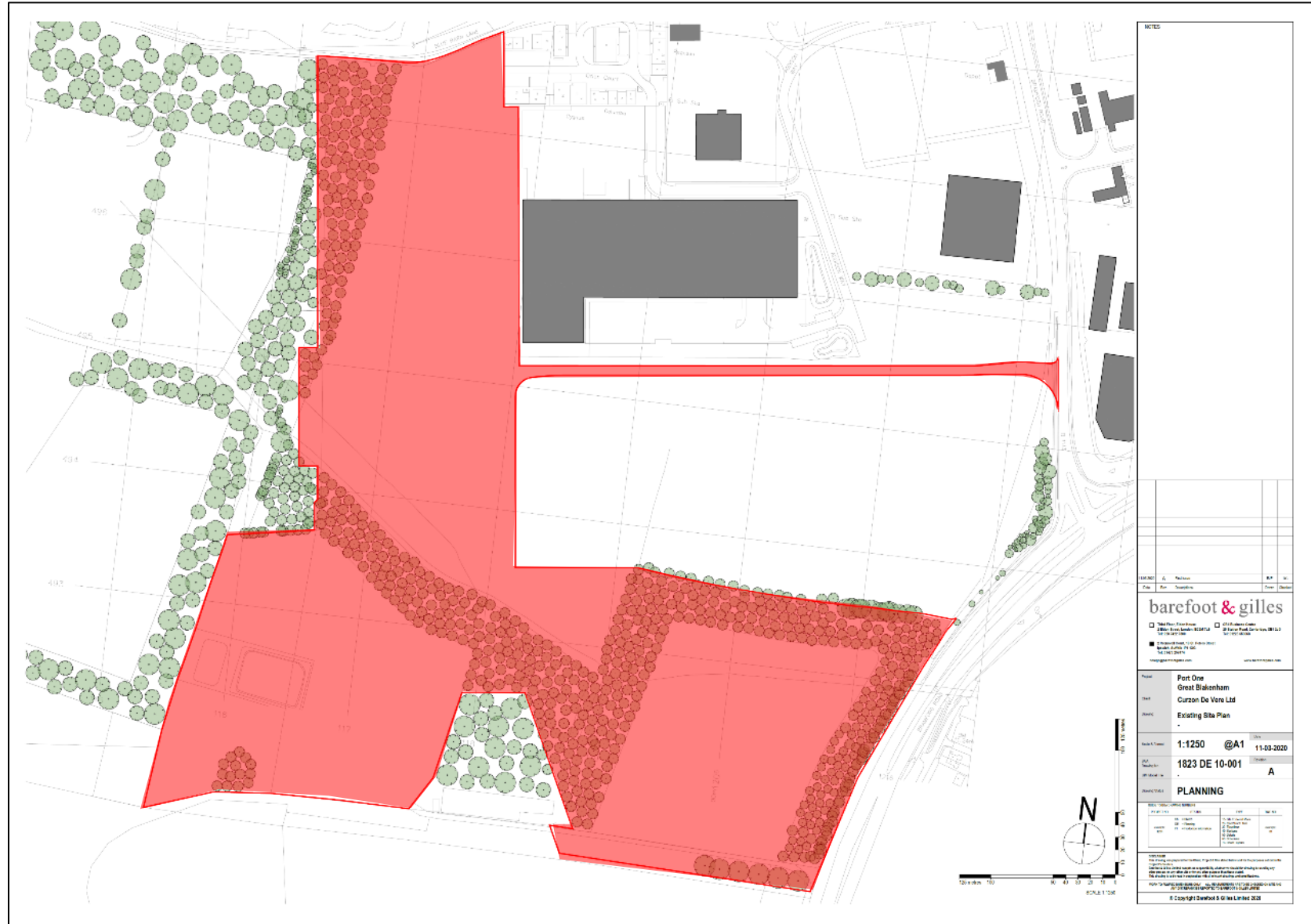
is a

Key Service Centre

“The majority of new development (including retail, employment and housing allocations) will be directed to towns and key service centres....”

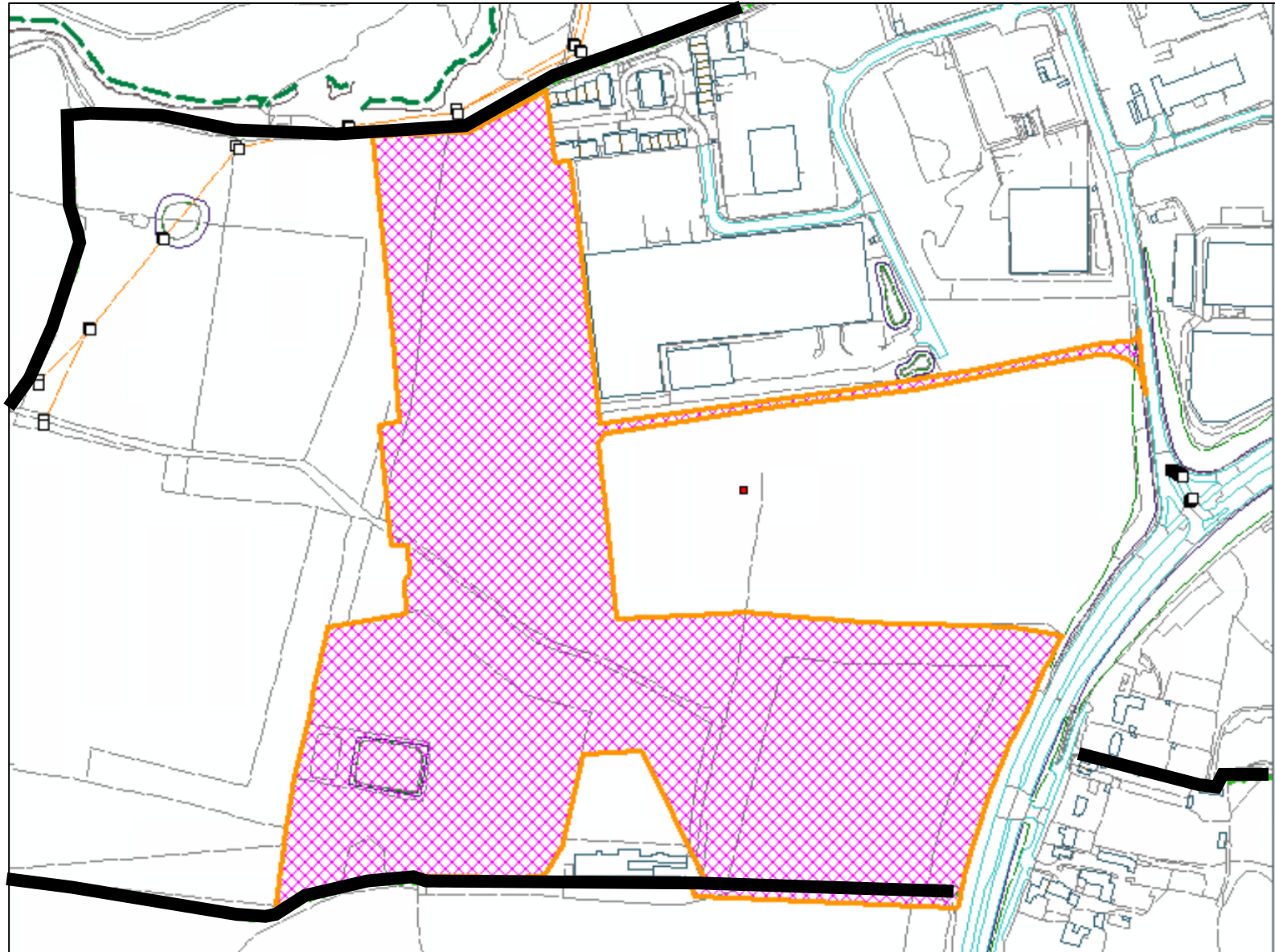


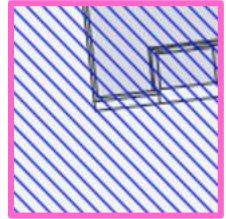
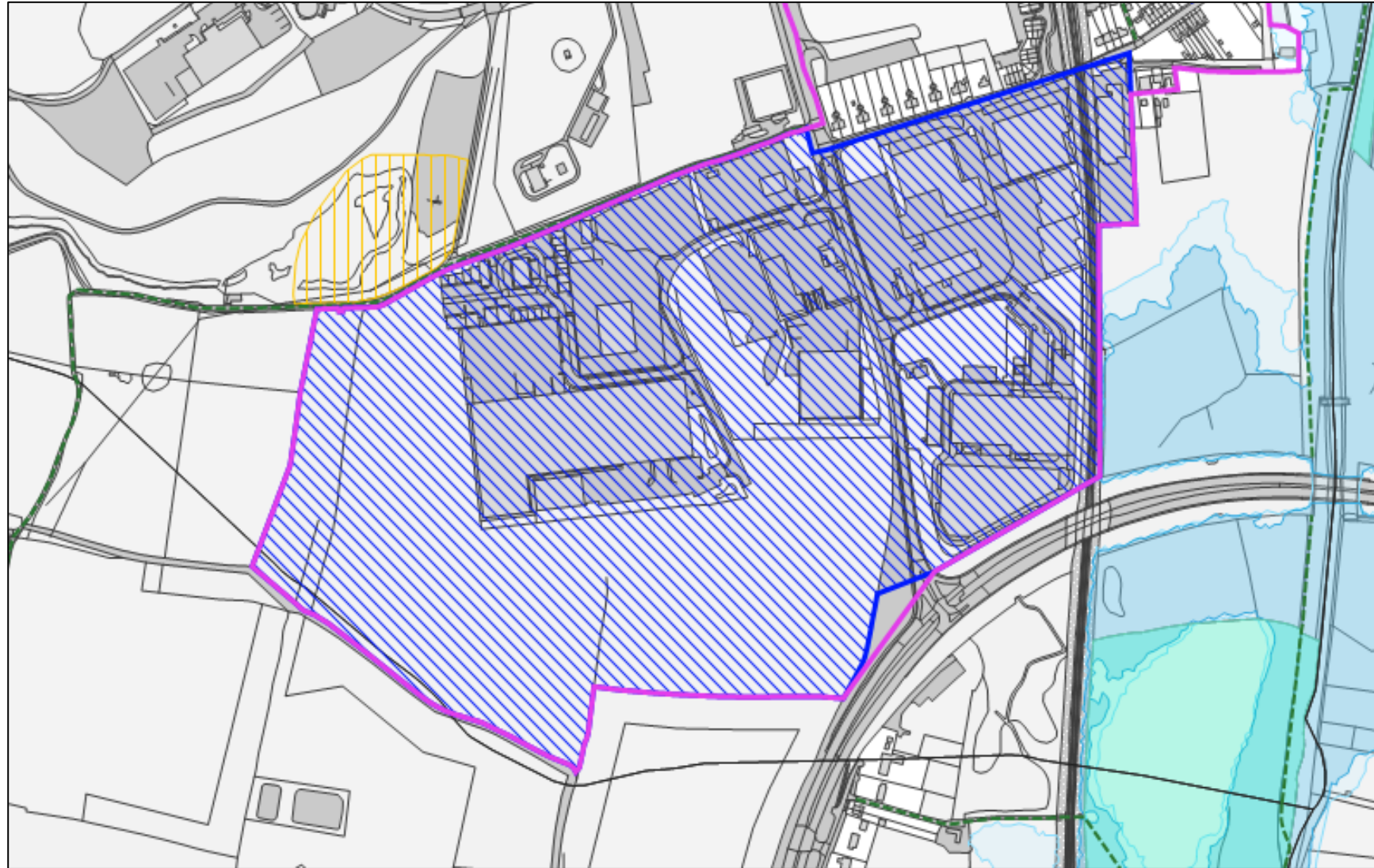
Site Location Plan



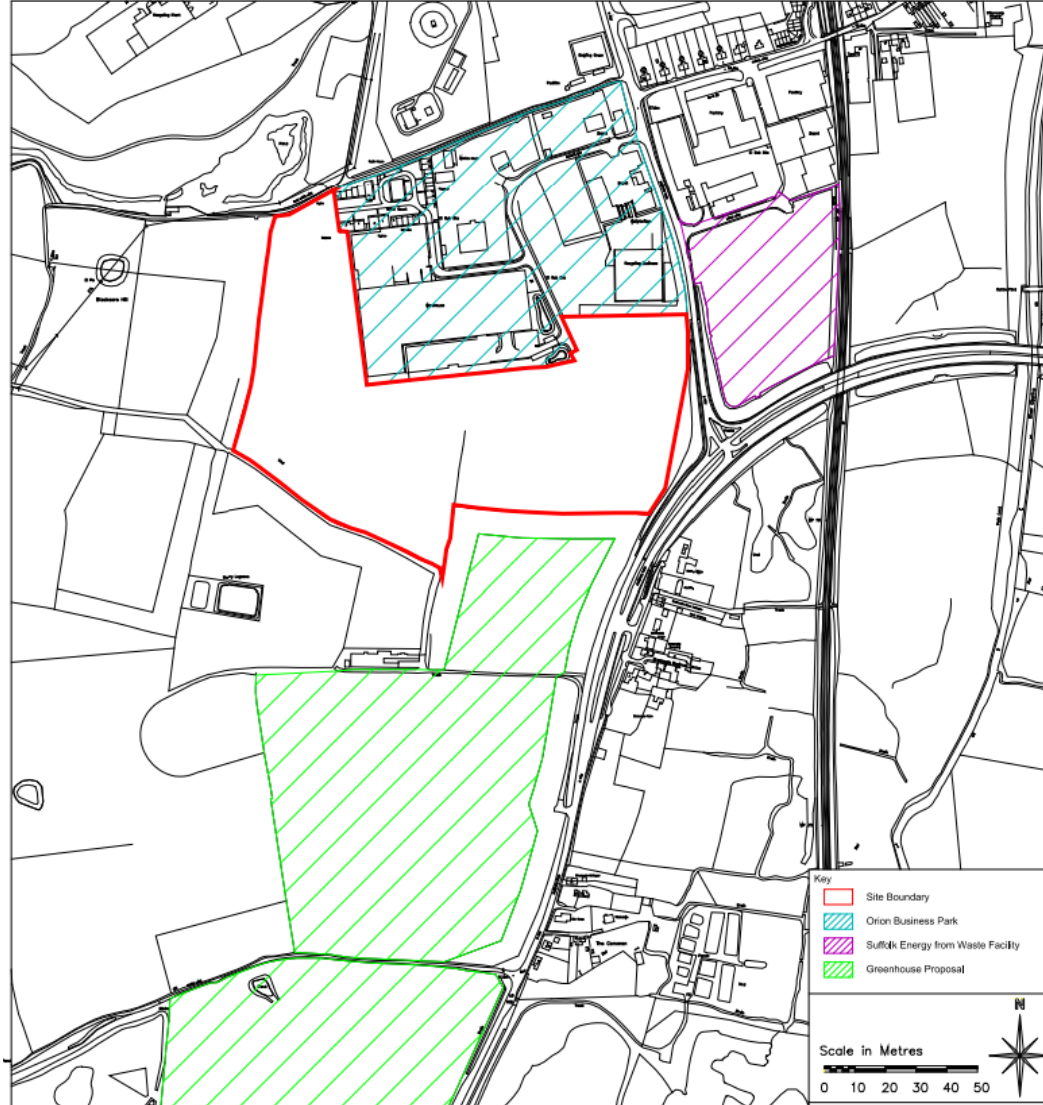











Existing site plan for approved outline 2351/16 and the greenhouse site approved under reference 3655/13



-  Site Boundary
-  Orion Business Park
-  Suffolk Energy from Waste Facility
-  Greenhouse Proposal

Recent history

original pp.

greenhouse pp.

current application

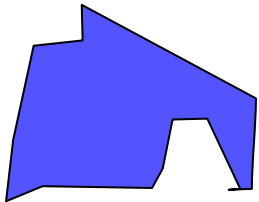


Current application site

slide 11



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just this part of site
sits outside of any
extant pp boundary

PORT ONE

LOGISTICS PARK ▾

PLANS & SPECS

CONTACT

NEWS

TYPICAL WAREHOUSE SPECIFICATION

- 18+ metre ridge height
- Superflat DM1 floor designed for VNA
- 50kN/m2 floor loading
- Ultra-fast fibre 1gb cable with optional resilience line
- Low rake telescopic lip dock levellers
- Level access doors
- Full height dock shelters for double deck trailers
- 50 metre institutional standard service yard
- High-spec offices with modern facilities and HVAC

Optional

- Low energy LED lighting with dim/on/off sensors and control
- Aspiration fire detection systems allowing complete layout flexibility

MAKE AN ENQUIRY





Policy SP05 – Employment Land

In order to support and encourage sustainable economic growth and ensure a continuous range and diversity of sites and premises which are fit for purpose are available across the Districts of Babergh and Mid Suffolk through the plan period the following existing strategic employment sites shall be protected and their proposed expansion supported in principle:

- i. Stowmarket – Churchfield Road, North Gipping Valley, Gipping Way Industrial Estate, Tomo Industrial estate
- ii. Sudbury – Wood Hall Business Park, Delphi Site, Chilton Industrial Estate, Woodhall Road, Chilton Industrial Estate
- iii. Villages around Ipswich
 - a) Claydon & Great Blakenham – Claydon Business Park, Addison Way, Bramford Rd/Lodge Lane Industrial Estate, Gipping Road Industrial Estate
 - b) Stowmarket – Stowmarket Industrial Estate
 - c) Sudbury – Sudbury Industrial Estate, Farthing Road Industrial Estate
- iv. Acton – Acton Business Park, Wherstead – Wherstead Business Park
- v. Eye – Eye Airfield, Former Sproughton
- vi. Hadleigh – Lady Eborac, Former Sproughton
- vii. Needham Market – Needham Market Industrial Estate
- viii. Woolpit – Lady's Wood, Woolpit Farm, Brickworks, Woolpit Business Park

Employment-led regeneration is supported at Brantham and at the Former Sproughton Sugar Beet regeneration sites.

Policy SP05 *continued*

Along the strategic transport corridors (A12, A14 and A140) development of net additional employment sites shall be supported in principle, subject to:

- a. adequate highway access and off-road parking for its type, mix, use and location; and**
- b. design and layout sensitive to its surroundings, including any landscape or heritage assets; and**
- c. new buildings should demonstrate high-quality design by having regard to the relevant policies of the Joint Local Plan.**

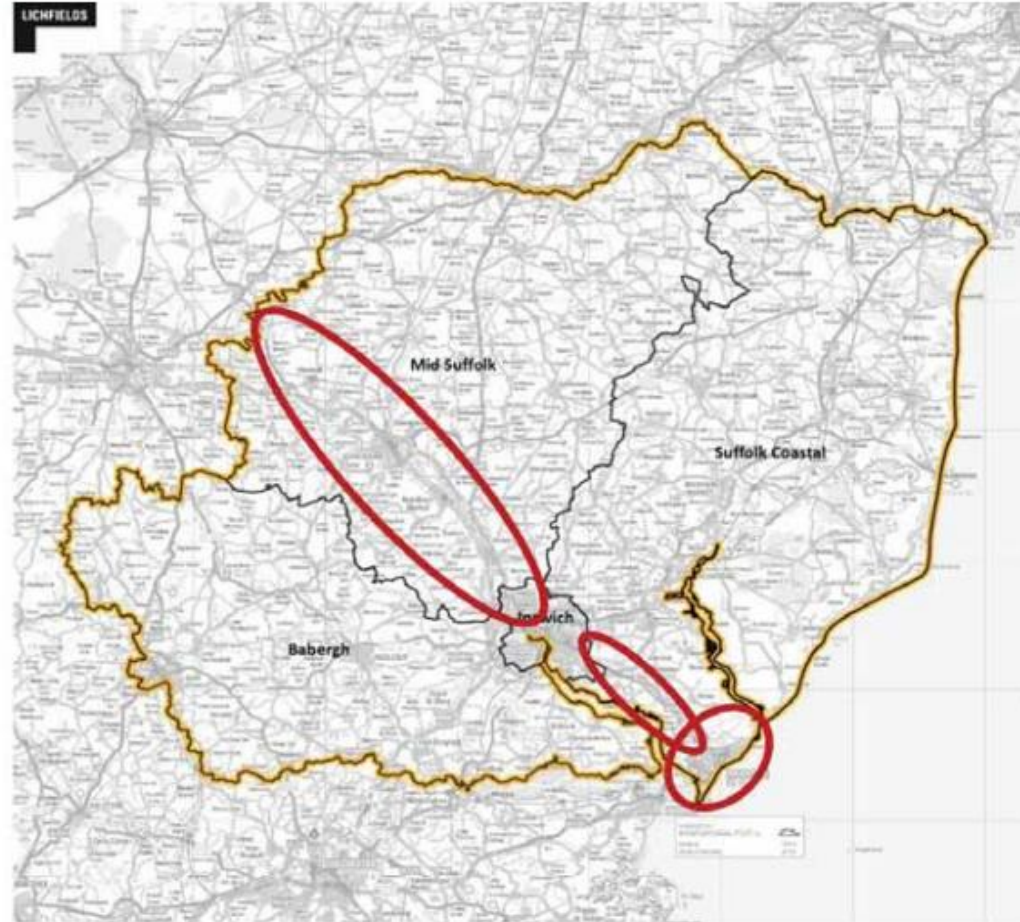
Existing employment areas in towns, core villages and clusters in rural areas are identified in B&MSDC employment land assessments. These sites should be retained and their expansion supported where appropriate in scale, character and nature of the locality. These sites will generally be expected to continue to provide for local employment over the plan period. If sites are to be redeveloped for alternative non-employment uses, the alternative provision (a “land swap”) and / or contributions to enable alternative employment provision must be secured.

strategic transport corridor [A14]

strategic transport corridor [A14]

Commercial floorspace demand

Figure 14.5 Key Property Market Areas and Demand - Transport and Logistics



Source: Lichfields analysis

Ipswich Economic Area Sector Needs Assessment (2017)

“Opportunities exist to significantly support the growth of port-based logistics activities in and around the Port of Felixstowe; availability of suitable land in close proximity to the port and the wider A14 corridor will therefore be critical to both support expansion of the Port itself as well as associated distribution centres along the study area’s key transport corridors.”



SUPPORT DELIVERY OF THE COUNCIL'S JOINT STRATEGIC PRIORITIES, THE SUFFOLK GROWTH FRAMEWORK, NEW ANGLIA ECONOMIC STRATEGY AND THE GOVERNMENT'S INDUSTRIAL STRATEGY

HELP TO DELIVER 10,000 NEW JOBS

DELIVER A RANGE OF DIFFERENT TYPES, SIZES AND LOCATIONS OF EMPLOYMENT LAND AND PREMISES TO MEET BOTH IDENTIFIED BUSINESS SECTORAL NEEDS AS WELL AS GENERAL EMPLOYMENT SITES

SECURE GREATER INWARD INVESTMENT AND ACCESS TO FUNDING



attractive
strategic
growth
new jobs
quickly
recovery

Page 252

No objection

“This application contains land that is a natural extension to the existing Port One Business Park which is currently under construction and the application also deals with the master planning and phased development of land included in pp 2351/16. The location near to junction 52 of the A45 and close to the Copdock interchange with the A12 **makes it attractive to Port-Centric logistics and also for regional manufacturing and distribution operations and therefore it is a strategic employment site for the district. The increase in size of the Business Park will help to support future economic growth in the Ipswich Fringe Area. The expanded site would also support up to 675 FTE new jobs for the district.** The height and scale of the proposed buildings on the site reflects the demand for larger sized premises, especially to support the latest high tech logistics & distribution operations as well as the industrial nature of existing surrounding commercial activities. **This is land that can be developed and brought to the market relatively quickly to help support future recovery and growth for both the local and regional economy.** I, therefore, support the application.”

Access arrangements

Existing Access off Addison Way (in Only)



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New Access priority junction – left turns in and right turns out ONLY





buildings subject of current application

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current proposal + existing and under construction

slide 22



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Site Access Signal Junction and Footpath to Bramford Road



Indicative sections



barefoot & gilles	
Port One Great Blakenham Curzon De Vere Ltd Site Sections	
Scale: 1:1000 @A1	Date: 18 06 2020
Ref: 1823 DE 10-006	Author: A
PLANNING	
Unit No. Title Date Rev. No.	1 1 18 06 2020 1
1823 DE 10-006	
© Copyright Barefoot & Gilles 2020	

Mid Suffolk District Council supporting the economy and jobs
Tall buildings Great Blakenham: SnOasis





Mid Suffolk District Council supporting the economy and jobs
Sterling Suffolk's Greenhouse

slide 27



Application No: DC/20/01175

Address:

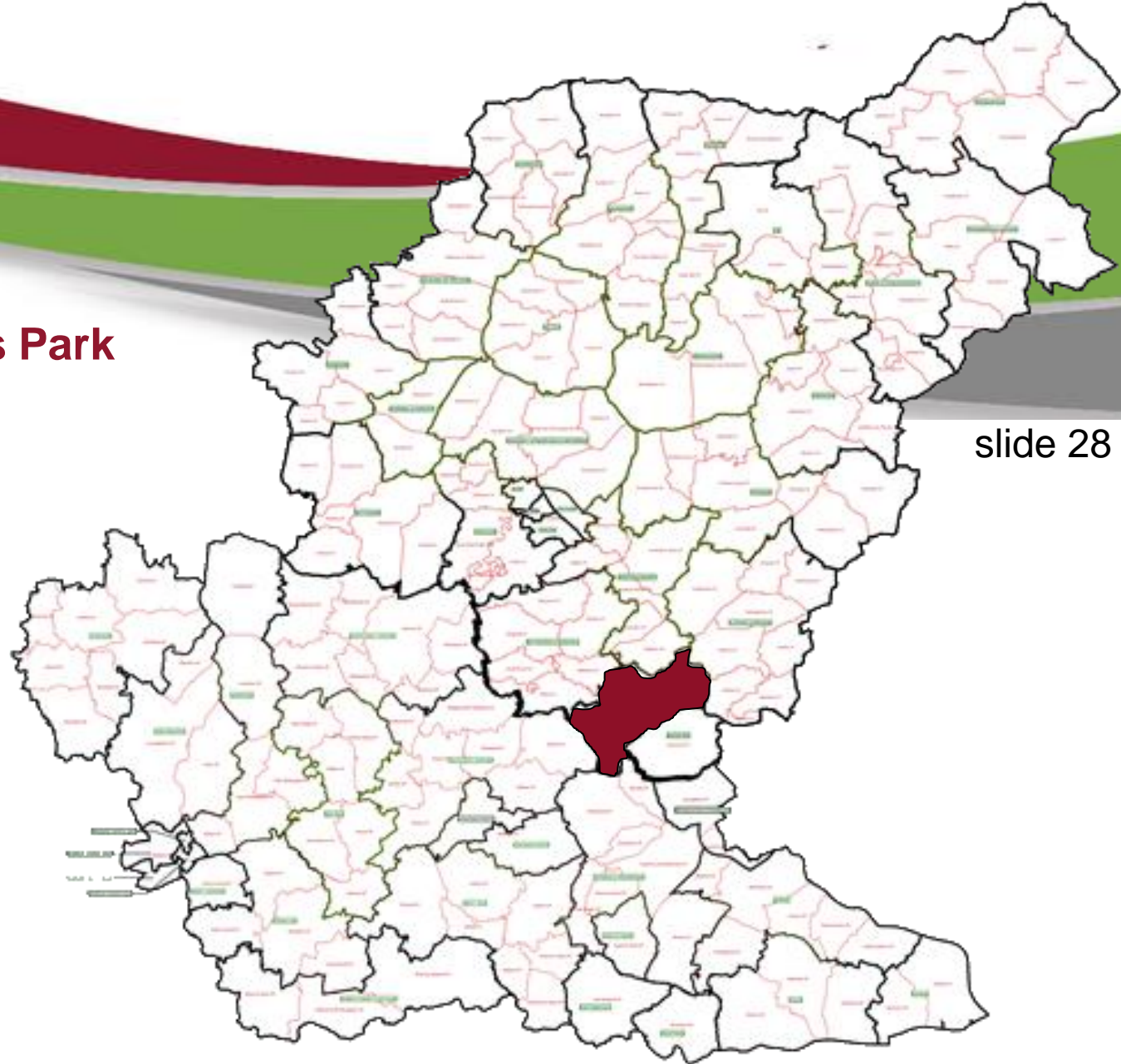
**Land Adj Port One Business and Logistics Park
Blackacre Hill
Bramford Road
Great Blakenham
Suffolk IP6 0RL**

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RECOMMENDATION*

subject to a Deed of Variation (to link this development to benefits arising from a previous S106 Agreement on the earlier phases of development)

GRANT PERMISSION
with conditions



slide 28

Agenda Item 7c

Committee Report

Item 7C

Reference: DC/19/05956
Case Officer: Vincent Pearce
Amelia Powell

Ward: Fressingfield.

Ward Member/s: Cllr Lavinia Hadingham.

RECOMMENDATION – SUBJECT TO S106 TO SPECIFIC BENEFITS IDENTIFIED THEN GRANT PLANNING PERMISSION WITH CONDITIONS

Description of Development

Outline planning application (**all matters reserved**) - Erection of up to **18** no. dwellings and associated new roads, infrastructure and open space.

Location

Land Off Post Mill Lane, Fressingfield

Expiry Date: Extension of time agreed

Application Type: OUT - Outline Planning Application

Development Type: Major Small Scale - Dwellings

Applicant: C.E. Davidson Ltd

Agent: Mrs Nicole Wright

Parish: Fressingfield

Site Area: 0.56ha

Density of Development:

Gross Density (Total Site): 32dph

Additional area with proposed wildlife area [blue land]: 0.3ha [*total gross density 30.6dph*]

Details of Previous Committee / Resolutions and any member site visit: None

Has a Committee Call In request been received from a Council Member (Appendix 1): No

Has the application been subject to Pre-Application Advice: No

PART ONE – REASON FOR REFERENCE TO COMMITTEE

The application is referred to committee for the following reasons:

The Chief Planning Officer considers the application to be of a controversial nature having regard to the recent planning history of this site the objection expressed by the Parish Council and the

extent and planning substance of comments received from third parties including S.A.F.E. [*Supporters Against Fressingfield Expansion*]¹

The application is also a major development of a scale outside of the scheme of delegation to the Chief Planning Officer

PART TWO – POLICIES AND CONSULTATION SUMMARY

Summary of Policies

The Council's Adopted Development Plan comprises the following relevant policies:

- **Mid Suffolk Local Plan [Adopted September 1998] [ALP] with the associated proposals map document] *saved policies***
 - SB3: Retaining Visually Important Open Spaces
 - GP1: Design and Layout of Development
 - HB1: Protection of Historic Buildings
 - HB8: Safeguarding the Character of Conservation Areas
 - HB14: Ensuring Archaeological Remains Are Not Destroyed
 - H4: Affordable Housing
 - H5: Affordable Housing
 - H7: Restricting Housing Development Unrelated to the Needs of the Countryside
 - H13: Design and Layout of Housing Development
 - H14: A Range of House Types to Meet Different Accommodation Needs
 - H15: Development to Reflect Local Characteristics
 - H16: Protecting Existing Residential Amenity
 - H17: Keeping residential Development Away From Pollution
 - CL11: Retaining High Quality Agricultural Land
 - T9: Parking Standards
 - T10: Highway Considerations in Development
 - T11: Facilities for Pedestrians and Cyclists
 - T13: Bus Service
 - RT4: Amenity Open Space and Play Areas within Residential Development

- **Local Plan Alteration 2006 [LPA]**
 - H4: Proportion of Affordable Housing in New Housing Developments [35%]

¹ <https://fressingfieldhousing.org/>

- **Core Strategy Development Plan Document [Adopted September 2008] [CS] saved policies**
 - CS1: Settlement Hierarchy
 - CS2: Development in the Countryside
 - CS5: Mid Suffolk's Environment
 - CS6: Services and Infrastructure
 - CS7: Brownfield Target
 - CS8: Provision and Distribution of Housing
- **Core Strategy Focused Review [Adopted December 2012] [CSFR]**
 - FC1: Presumption in Favour of Sustainable Development
 - FC1.1 Mid Suffolk Approach to Delivering Sustainable Development
 - FC2: Provision and Distribution of Housing

Neighbourhood Plan Status

This application site is within a Neighbourhood Plan Area.

The Neighbourhood Plan is currently made and Adopted and has statutory weight as a part of the development plan i.e. in accordance with the s38(6) duty, decisions are made in accordance with it, unless material considerations indicate otherwise.

Adopted Fressingfield Neighbourhood Development Plan 27 March 2020 [AFNDP20]: Particularly relevant policies

- FRES 1 Housing provision [relevant to [inter alia] discussion around principle of use]**
- FRES 2 Housing size, type and tenure [relevant as this is a housing proposal]**
- FRES 3 Infrastructure [relevant as the development will potentially add to pressure on infrastructure]**
- FRES 4 Community facilities *[not relevant as the policy relates to the loss of existing facilities that is not the case here] [the field is not public open space]*
- FRES 5 Fressingfield Hub *[not relevant as the policy relates to the provision of new community facilities on a site yet to be identified. In terms of the CIL test it is not reasonable or proportionate to require an 18 dwelling scheme to provide such a site and funding]*
- FRES 6 Protecting landscape character and natural assets and enhancing village gateways/entrances [relevant as the site is countryside]**
- FRES 7 Local Green Spaces *[not relevant as the site is not defined as a Local Green Space]*
- FRES 8 Non Designated Heritage Assets *[not relevant as no NDA's identified in the immediate vicinity]*
- FRES 9 Fressingfield Vernacular *[relevant to reserved matters considerations the event that outline pp granted]*
- FRES 10 Design [relevant as this is a built development]**
- FRES 11 Localised flooding and pollution [relevant as this development will generate additional foul and surface water in the village]**

FRES 12 Energy efficiency, low carbon technology and renewable energy [relevant to sustainability]

FRES 13 New and existing businesses [not directly relevant as this is a housing proposal]

FRES 14 Enhancement and redevelopment opportunities [not immediately relevant as site outside of settlement boundary but site was previously developed land [PDL] 'brownfield']

FRES 15 Transport and highway safety [relevant as the proposal will generate additional traffic movements vehicular, cycle and pedestrian]

Also of relevance is the NPPF 2019.

Relevant SPD includes:

Suffolk Guidance for Parking [Adopted November 2014 - refreshed 2019]

Weight to be Afforded to the Adopted Development Plan Documents & the NPPF [2018]

The planning system continues to be plan-led and S38 of the Planning and Compulsory Purchase Act 2004 restates the requirement that "determination must be made in accordance with the plan unless material considerations indicate otherwise"

Whilst large parts of the Council's Adopted Local Local Plan [1998] and the Core Strategy [2012 focused review] are 'out-of-date' they remain the Authority's Adopted Development Plan and are therefore a material consideration. This report will therefore have some regard however limited to them. The issue in such circumstances is therefore what weight can policies that are 'out-of-date' be afforded. To what extent is the AFNDP now the primary source of policy for the Council when it takes planning application decisions in Fressingfield and at what point does the NPPF take precedence or have relevance? That is a relevant question here.

It is here that paragraph 11 of the NPPF [2019] clearly sets out what must happen.

As the application is submitted in outline the most important initial issue to resolve in respect of the weighting to be attributed to policies is to what extent are policies that relate to the principle of new residential development up-to-date and therefore capable of being significant weight.

In this case the tilted balance is triggered because of the fact that much of the Development Plan where relevant is out of date (especially those most important for the determination of this application including CS1, CS2, and H7 when tested for consistency with the NPPF in accordance with its para 213) and the AFNDP20 includes a requirement for windfall sites to deliver the identified need contrary to current Government advice.

Statement in respect of the current 5YHLS in Mid Suffolk

Mid Suffolk District Council is able to demonstrate that it had a 5-year Housing Land Supply.

On this basis it is accepted that the 'tilted balance' does not need to be applied with regard to the 5YHLS situation. The provision of housing is of course less weighty a consideration than if the Council were failing to meet its five-year requirement but it is nevertheless a matter of significance given the Govt's desire to significantly boost housing supply; thus, the requisite supply is a target to be surpassed, it is not a ceiling on further development.

Constraints

- The site is outside of the defined settlement boundary for Fressingfield
- It is no longer farmed and is used as informal open space pending possible development of what was envisaged would be a second phase of development
- Public Footpath No 1 passes the site [north-south] to the west
- Within the generally adjacency of the site there are 3 x Grade II listed houses.
- The western tip of Fressingfield Conservation Area touches part of the site although the over distance is some 74m
- The site is in Flood Zone 1 and so is sequentially acceptable for development from a flood risk perspective [to those sites that fall within Flood Zone 2 and/or 3]
- It is not subject to special landscape designations or ecological designations

Consultations and Representations

During the course of the application Consultation and Representations from third parties have been received. These are summarised below.

A: Summary of Consultations

Fressingfield Parish Council Comments Received – 10/01/2020

Fressingfield Parish Council recommends refusal of this application.

This is a truncated version of an application made in 2017 (1648/17) which the district council refused. The planning inspectorate dismissed an appeal. This application removes from that original application 6 houses which would have been built behind Ladymeade Cottage, a Grade II listed building.

In his assessment, the inspector confirmed that the existent LDP (1998), the Core Strategy (2008) and the Core Strategy Focused Review (2012) do carry weight when making decisions. This is in part due to their resonance with the NPPF.

Using these documents, the inspector concluded that the site in that application was not suitable for new housing. He felt that it conflicted with CS1 and CS2 (Core Strategy and CS Focused Review) and that it did not meet the aims of para 170 of the NPPF, in terms of recognising the intrinsic character and beauty of the countryside.

Officer comment:

Whilst officers note the interpretation given to the appeal decision and the Inspector's comments this report will explore in greater detail the nuances in that decision as the Inspector in places had a different view to the merits of the proposed development at the western end of the site to that at the eastern end. Members will wish to consider the implications of this when exercising their own judgements

The site for this proposed development (DC/19/05956) is within the boundaries of that previous application. The site is outside the settlement boundary but does not meet the requirements of paragraph 79 of the NPPF 2019.

Officer comment:

Officers acknowledge this point but in doing so also comment that the application site is not an isolated location. [it is in fact adjacent to existing development and the defined settlement boundary]. Officers do accept however that in using the exception criteria from paragraph 79 in FRES1 of the AFNDP20 added emphasis is given in FRES1 to there being a local need. The applicant has not claimed a local need.

At the time of his assessment, the inspector did not feel that Fressingfield's Neighbourhood Development Plan was sufficiently advanced to affect his judgements. However, it has now been assessed by an external examiner, had a few minor modifications and will go to a village referendum in late January/early February. Therefore, it should be given material consideration even though at the time of writing this comment, it does not carry statutory weight.

Officer comment:

It is accepted that the Adopted Fressingfield Neighbourhood Plan 2020 is now part of the Council's Development Plan and carries significant weight as a material planning consideration. this report considers in detail relevant policies in the AFNDP20 and the extent to which the proposed development meets those policies or not.

The section of the NDP on housing states that 60 homes could be built during the lifetime of the plan to support its vision of Fressingfield being a good place to live with a welcoming, friendly and cohesive community. It will be a village with a robust and sustainable infrastructure. The NDP anticipates that the 60 will be made up of homes already given planning permission (51); small windfall sites, not yet identified, within the settlement boundary; and conversions and new development opportunities outside the settlement boundary in accordance with paragraph 79 of the NPPF 2019 60 is 7% more than the minimum figure in BMSDCs draft Local Plan in which Fressingfield is designated a hinterland village.

Officer comment:

Officers accept that were the current proposal to be approved it would exceed the total housing 'Windfall' allocations contained in the AFNDP20 by a minor amount²

When the district council considered the previous application, councillors were appalled to hear of how raw sewage would periodically overflow from Fressingfields sewerage system into the street and a local watercourse. This problem has still not been solved: it is getting worse. Steady or heavy rain seems to be the catalyst. (Details are in the SAFE response.) A working group and closer connections with Anglian Water, Suffolk Highways and Suffolk Flood Management have been established.

However, the full causes of the problem, which is a health hazard and a 21st century disgrace, have not yet been identified. Only when that is done can solutions be designed and implemented. Any proposals that try to avoid exacerbating the problem are currently based on incomplete knowledge of the causes. Fressingfield Parish Council believes that only when these problems have been solved should new housing applications be seriously considered.

Put simply, it is not right to expect residents to live in an expanding village where the content of their loo ends up in the street and the local watercourse.

Officer comment:

Officers and the Planning Committee did endorse the local concerns about drainage problems and flooding in periods of high and sustained rainfall with the inclusion of a drainage reason for refusal of the previous 24 dwelling scheme. The foul water authority raised no objection at that time and it continues to raise no objection. The Inspector in the previous appeal did not support the Council's case in respect of drainage and the implications of this are explored in the subsequent sections of this report

Other key points from the council's planning committee meeting:

- The traffic survey submitted with this application was conducted in February which is not a month representative of traffic flow in a village surrounded by agricultural land.
- The pedestrian route assessment document makes several subjective judgements about the flow of traffic (low levels of traffic, very light traffic, very light traffic flow). This is based on making an average of a days count over 24 hours which seems unreasonable. Obviously, there will periods of the day/night when there is almost no traffic. Using these judgement-laden descriptions imply that pedestrians can safely walk along this narrow street (between 4m and 5m wide). This not the case.
- The level of traffic flow should be compared to similar situations i.e. hinterland villages.
- The route assessments were made according to AWARs guidance which takes no account of the personal safety of children travelling alone and it is presumed that all road users will behave reasonably and responsibly. The fact that there are no reported road traffic injuries would appear to confirm New Street is a safe route to walk. However, even with current levels of traffic and even when most vehicles respect the speed limit, it is a threatening journey for most pedestrians. AWARs guidance for assessing pedestrian routes takes no

² small 'windfall' sites and infill plots within the Settlement Boundary that come forward during the Plan period and are not specifically identified in the Plan; from FRES1

account of the emotional harm caused by a 300m walk on a 4/5m wide street with no pathways and being faced by cars, lorries, tractors with trailers, vans and motorbikes travelling in both directions.

- In its report to the district council at the last application (1648/17), Suffolk Highways confirmed that accidents did not need to have occurred to identify a route as dangerous, but ... that weight should be given to observed conflicts between pedestrians and vehicles... (NPPF para 110) Although measures were proposed to mitigate the dangers likely to occur with an increase in vehicular and pedestrian traffic on routes at the core of the village, the report stated, The measures proposed are the best solution available within the existing constraints (but) they fall short of making the highway safe for pedestrians.
- Steve Merry, Transport Policy and Development Manager Growth, Highways and Infrastructure concluded, It is the Highway Authorities opinion that further traffic passing along New Street and/or through Jubilee Corner would result in an unacceptable impact on highway safety particularly for vulnerable pedestrians.

Officer comment

Unlike the position in respect of the previous proposal whereby the County Council as Local Highway Authority [LHA] objected to the proposal on highway grounds [pedestrian safety] the LHA now raises no objection. Members will have noted that the Inspector who determined the previous appeal for 24 dwellings on this site did not support the District Council and County Council's case around highway safety. The Inspector noted that no convincing evidence had been produced to demonstrate that there would be unacceptable harm to highway safety even though New Street lacks a footway and people walk in the road and Jubilee Corner is complex and also lacks footways around most of its perimeter.

- There are no public transport links to and from the village.
- The claim that 18 houses is a modest number ignores the fact that it effectively doubles the size of the estate.
- The only entrance to this estate is close to the busy entrance to the medical centre. The pedestrian access to the medical centre is already difficult due to the lack of footpaths.
- Planning permission already exists for 51 houses in the village.
- If permission is granted for this new development, it would mean that planning permission had been given to 23% more than the minimum required in BMSDC draft Local Plan. There are 2 other development applications currently on the table. These would add a further 48 homes to the village. The figure of 117 (51+18+48) is more than double that in the draft Local Plan. The plan has another 16 years to run.
- As permission has been granted for 51 houses already the medium-term sustainability of the school is not an issue.
- Benefits would accrue to the parish via a CIL allocation.
- Speed restriction plans for New Street would be welcome.

Suffolk County Council - Development Contributions Manager - Received 03/01/2020

A S106 contribution Of £14,400 for school transport is sought other contributions to be sought through CIL.

Suffolk Preservation Society - Received 10/01/2020

Object to the application due to the unsuitable location, the disproportionate scale of the development and the impact on the setting or heritage assets.

“Suffolk Preservation Society welcomes the reduction in the scale of the development to address the harm caused by the development to the setting of Ladymeade Cottage and the acknowledges the contribution made by the proposal to housing need generally and the public benefit of no. 6 affordable housing units. However, we remain concerned that the proposal remains disproportionate, relative to the level of growth allocated and planned for in the emerging Neighbourhood Plan. If this proposal were to be approved, it would prejudice the policy making process by undermining the plan-led approach”

“Granting planning permission would undermine community confidence in the plan making process after successful Examination but in advance of a Referendum of that Plan”

“The community through the neighbourhood plan process, has clearly rejected this site for development whilst setting out alternative sites that are capable of contributing towards the housing need in the district. Suffolk Preservation Society considers this application would seriously undermines the neighbourhood planning process and we therefore urge that the proposals are yet again refused”

Flood and Water – Received 05/11/2020 (most recent consultation response)

Maintaining a holding objection.

“The reason why we are recommending a maintaining a holding objection is because whilst the applicant has answered most of the points highlighted by the LLFA, one point from the January 2020 consultation response has not been addressed”

1. Resubmit the drainage strategy to include reference to the Drinking Water Safeguard Zones (Surface Water) that covers the parish.

Environmental Health Land Contamination - Received 14/01/2020

Environmental Health Land Contamination have no objection to the proposed development.

“I would only request that the LPA are contacted in the event of unexpected ground conditions being encountered during construction and that the below minimum precautions are undertaken until such time as the LPA responds to the notification. I would also advice that the developer is made aware that the responsibility for the safe development of the site lies with them”

Suffolk County Council Highways – Received 14/01/2020

“The Local Planning Authority recommends that developers of housing estates should enter into formal agreement with the Highway Authority under Section 38 of the Highways Act 1980 relating to the construction and subsequent adoption of Estate Roads”

“The works within the public highway will be required to be designed and constructed in accordance with the County Council’s specification. The applicant will also be required to enter

into a legal agreement under the provisions of Section 278 of the Highways Act 1980 relating to the construction and subsequent adoption of the highway improvements. Amongst the other things the Agreement will cover the specification of the highway works, safety audit procedures, construction and supervision and inspection of the works, bonding agreements, indemnity of the County Council regarding noise insulation and land compensation claims, commuted sums, and changes to the existing street lighting and signing.”

Ecology Place Services - Received 10/01/2020

No objection subject to securing biodiversity mitigation and enhancement measures.

Strategic Housing - Received 03/01/2020

Six affordable dwellings are sought. 4 as affordable rent and 2 as shared ownership. All to meet Nationally Described Space Standards [NDSS].

The unit sizes should be:

Affordable rented 4 x 2 bed 4 person houses @ 79.0sq.m

or 2 x 1 bed 2 person houses @ 58 sq.m.
and 2 x 2 bed 4 person houses @ 79.0sq.m

Shared Ownership 2 x 2 bed 4 person houses @ 79.0sq.m.

The proposed affordable units within the scheme match this requirement and the requirement can be built into the S106.

It is noted that that Strategic Housing Officer has suggested that the number of 3 bedroom units may be higher than preferred or needed in terms of the open market units and that the scheme lacks bungalows.

The layout has since been amended to provide a bungalow. It is also noted the the AFNDP20 advocates 2-3 bedroom units for families

Heritage Team – Received 16/01/2020

“ The application follows refusal of 1648/17 and dismissal at appeal. I advised on that proposal that loss of the immediate relationship of the listed Ladymeade Cottage with its rural surroundings was harmful.

The Inspector essentially supported this assessment.

In the present application, the site is reduced by omission of land to the rear of the listed building Ladymeade Cottage. This revision in effect removes development to the rear of

*Ladymeade, overcoming the harmful impact of the previous scheme. **In my view the proposal now poses no harm to the setting or significance of the listed building.***³

I recommend imposing a condition requiring details of landscaping on any permission so that the site's eastern boundary will present a 'soft' edge of rural character. We would defer to the landscape expert on the details of any scheme put forward."

Suffolk County Council Fire and Rescue - Received 09/01/2020

"If the Planning Authority is minded to grant approval, the Fire Authority require adequate provision is made for fire hydrants, by the imposition of a suitable planning condition at the planning application stage"

"If the Fire Authority is not consulted at the planning stage, or consulted and the conditions not applied, the Fire Authority will require that fire hydrants be installed retrospectively by the developer if the Planning Authority has not submitted a reason for the non-implementation of the required condition in the first instance"

"Until Suffolk Fire and Rescue Service receive confirmation from the water authority that the installation of the fire hydrant has taken place, the planning condition will not be discharged"

Suffolk County Council Archaeological Service - Received 10/01/2020

"There are no grounds to consider refusal of permission in order to achieve preservation in situ of any important heritage assets. However, in accordance with the National Planning Policy Framework (Paragraph 199), any permission granted should be the subject of a planning condition to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed"

In this case the following two conditions would be appropriate:

1. No development should take place until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation which has been submitted to and approved in writing by the Local Planning Authority
2. No building should be occupied until the site investigation and post investigation assessment has been completed"

Natural England - Received 07/01/2020

Natural England has no comments to make on this application

Public Realm - Received 02/01/2020

"Public Realm note that a similar application for this site was refused planning permission in 2018. Should a decision be made to grant permission for this application the Public Realm Team would require that an adequate level of public open space is achieved within this site"

³ Emboldening of the text is the planning officer's highlighting but the words are those of the Heritage Officer

Communities (Major Development) – Received 21/01/2020

Concur with the Public Realm’s response (an adequate level of public space must be achieved within this site).

Anglian Water – Received 27/01/2020

Assets Affected

“There are assets owned by Anglian water or those subject to an adoption agreement within or close to the development boundary that may affect the layout of the site”

“The site layout should take this into account and accommodate the infrastructure type through a necessary cordon sanitaire, through public space or highway infrastructure to ensure that no development within 15 meters from the boundary of a sewage pumping station If the development is potentially sensitive to noise or other disturbance or to ensure future amenity issues are not created”

Wastewater Treatment

“The foul drainage from this development is in the catchment of Weybread Water Recycling Centre that will have available capacity for these flows”

Used Water Network

“Sewers intended for adoption should be designed and constructed in accordance with Sewers for Adoption guide for developers, as supplemented by Anglian Water’s requirements.”

Surface Water Disposal

“The preferred method of surface water disposal would be to a sustainable drainage system (SuDS) with connection to sewer seen as the last option”

“The Environmental Agency should be consulted if the drainage system directly or indirectly involves the discharge of water into a watercourse. Should the proposed method of surface water management change to include interaction with Anglian Water operated assets, we would wish to be reconsulted to ensure that an effective surface water drainage strategy is prepared and implemented”

Internal Consultee Responses (Appendix 6)

B: Representations

The Council’s normal neighbour notification process has triggered a total of 79 objections

Concerns expressed are summarised thus: [please note all correspondence received can viewed in full on the Council’s planning website under the application reference].

Objections

- Affects Local Ecology and Wildlife 14

- Conflict with District Plan 2
- Conflict with Local Development Plan 26
- Conflict with Neighbourhood Plan - Site not approved in the new Neighbourhood Development Plan – Fressingfield NDP recommends the construction of 60 new homes, 51 have already been approved and another two applications are currently pending – this would bring the total number of new housing developments to 117 46
- Conflict with NPPF 26
- Design 8
- Development too high 10
- Dominating and Overbearing 17
- Drainage/ Sewage Issues 52
- Health and Safety – enhanced danger to school children, dog walkers and the elderly from inadequate road infrastructure proposals 31
- Impact/ Harm to Listed Buildings - Grade II listed building (Ladymede Cottage) 9
- Inadequate public transport provisions 7
- Inappropriate in a Conservation Area 16
- Increase Danger of Flooding 38
- Increase in Pollution 17
- Increased Traffic and Highway Issues – there are few footpaths and existing roads are too narrow, existing road infrastructure too narrow for deliveries and emergency service vehicles 58
- Lack of Employment Opportunities (in the surrounding area) – new occupants would need to drive to work, causing increased traffic and increased carbon footprint 29
- Lack of parking provisions 20
- Landscape Impact 13
- More Open Space needed on the development 3
- Out of Character with the Area 28
- Scale of the Development 19
- Strain on existing community facilities – Doctors Surgery is nearing capacity (Fressingfield Medical Centre) and local school 32
- Sustainability 25
- Over Development in the area 59

S.A.F.E. [Supporters Against Fressingfield Expansion]

SAFE strongly opposes this Application

This is an Application for 21 houses as an extension to the existing Post Mill development giving an urban housing estate of 39 houses. No Planning Gain is proposed.

Policy Background

Since November 2018 when the original Post Mill Application was heard a number of significant policy changes have come about.

*MSDC have now confirmed a minimum 5 year housing land supply. This is important as without this number a number of Planning Policies can be ignored.

*The Joint Draft Local Plan has been consulted upon and whilst not yet adopted it does carry some weight. The Plan has corrected the error of our being a " core" village. We are now correctly identified as an "Hinterland" village capable of sustaining limited development. Currently there is no timetable for the adoption of the Plan.

*The Neighbourhood Development Plan is due to go to referendum in late January/ early February 2020. Whilst not yet adopted it does carry some weight. The NDP does not identify Post Mill as a potential development site. To include this site would push the agreed housing ceiling, of 60 houses over the Plan period, well over target. To support this Application would undermine the validity of the NDP.

* The site is not within the Settlement Boundary. Policy CS2 does carry some weight and should be applicable to Post Mill.

*Any potential development in Weybread should be factored in as it is integral to the infrastructure in Fressingfield. This would impact on highways, the medical centre, the school and pollution.

Post Mill Appeal

In November 2018 the Post Mill Application for 24 houses was not approved by MSDC for the following reasons

1. Outside the Settlement Boundary.
2. Contrary to Local Planning Policy
3. Would result in localised flooding
4. Would impact on a listed building.

The decision was appealed by the Developer. The Appeal was overruled and costs were not awarded. The plank of Inspector's argument was the visual impact of the proposed development of Ladymeade Cottage, a listed building. In this Application the Developer has partially addressed this issue by removing all buildings directly behind Ladymeade and compressing 18 houses with very small gardens into a tight space. Whilst the development does not impede upon Ladymeade it does compromise the setting of both Ladymeade and an adjacent Listed Building.

The Inspector did not give weight to the flooding /sewerage issue because Anglian Water raised no objection. Critically, since the time of the Inspector's Report Anglian have changed their position. Whilst accepting that there is capacity within the sewerage for normal dry flows at the time of persistent rainfall the sewerage is flooded. The CEO of Anglian Water wrote on 14th November 2019 " Our foul sewer is being overwhelmed by other water sources." It is significant that the Applicant is reliant on Preplanning advice from Anglian Water on the original scheme (para7.4.2) this has not been updated. It is also significant that the developer for the John Shepherd and Stradbroke Road sites is proposing mitigation measures to reduce the capacity within the sewer at times of heavy rainfall to allow extra capacity for surface water. For the developer of Post Mill to ignore this and rely on an outdated Appeal decision is not sensible.

SAFE believe that this Application clearly runs contrary to paragraph 163 of the NPPF and will increase the risk of flooding elsewhere.

General

The majority of the supporting reports and data collection is seriously out of date and relates to the previous Application. Decisions cannot be reached on information which is no longer valid. Highways. The cumulative impact of the this and the proposed two developments would increase the number of cars in the village by approximately 100 cars.

Whilst the Transport Study is dated March 2019 all of the data relates back to the previous scheme as do the drawings. The correspondence log between SCC highways and the developer ends abruptly on 13/11/18 - ten days before the initial hearing.

In attempting to present the development as being close to many local amenities numerous bus stops and a post box are cited. As there are no public buses the proximity to bus stops is a complete irrelevance.

The increased traffic will impact significantly on New Street as New Street is the only way in and out for the Post Mill residents. We have produced papers on congestion and pinch points as well as the large number of unreported and reported accidents

fressingfieldhousing.org New Street is of particular concern as it is at the centre of the village. The War Memorial is another worrying junction being a four way junction. It is just statistically untrue to state that the increase in the number of cars will not increase the number of accidents. If you have more cars statistically there will be more accidents. None of the proposals within the transport document meet the requirement for green and sustainable transport. Policy T 10 is of relevance.

Pedestrian safety

The highways report does not examine pedestrian trip rates either now or projected into the future. The Report does state that short sections of 4 pedestrian routes are "unsafe" then does proposes almost nothing in mitigation (para 2.6.4.)

On Road Parking

Throughout the area many roads have no walkways and on street parking is very common. The Medical Centre, shop, and Anglican Church all have insufficient "off road" parking. With an increase in population and increased use of these venues there will be more parking on very narrow streets. Parking for the Anglian Church is not limited to Sundays because of bell ringing, meetings and choir practice. There is permanent on street parking on Church Hill as very few houses have off street parking this is very narrow and there are no footways in this area.

The entrance to Post Mill is a particular problem as increasing numbers of cars park in this area as overflows from the Medical Centre

Local Employment

There 58 whole time equivalent posts in the village. (Total population 1021) Part time work is available at the shop and Fox and Goose. Full time posts are at the surgery and School, although most of these full time personnel choose to live outside the village. CP Davidson, the main employer is based outside the village. The vast majority of villagers leave the village by car to go to work in neighbouring towns. There are no cycle lanes and the roads are narrow and overcrowded. Some people commute to London, therefore driving to the station at Diss.

Medical Care

The small amount of spare capacity at the surgery will be taken up by the residents of the 51 new houses approved, but not yet built. Waiting times for consultations have already significantly increased and this will get worse. Parking at the surgery is already inadequate and more patients will result in more overspill parking in New Street. There is no space to expand the car park because of adjacent recent house building.

A new medical centre, providing a full range of services is professionally priced at E12 million. There is no funding available for either a rebuild or enlargement (which would be physically difficult). The only alternative would be funding by the developer.

Education

One of the major planks of the Applicants submission is the support from the School Governors in needing the Post Mill Development to support pupil numbers at the school. Whilst SCC have not commented on this Application in response to the proposed development at John Shepherd Suffolk County Council wrote on 20th December 2019 "The existing primary is at capacity and it is clear that the site proposal will add to challenges in terms of adding capacity." The viability of the school is therefore not an issue. There is no local secondary school. School Buses or private cars are the only means of getting to the secondary school.

Affordable Housing

A perceived major advantage of the Application is the inclusion of 6 affordable homes. Currently there are 11 families on the local waiting list these can be accommodated in the affordable home provision within the developments approved, but not yet built. Further affordable housing is surplus to need in the village.

Green Credentials

There will be more residents all with cars as realistically there is no alternative travel in Fressingfield. This will mean more pollution and certainly is contrary to all relevant Guidance

Heritage

The proposal is contrary to Policy HB1 of the adopted Local Plan (1998) which states that the Council places a high priority on protecting the character and appearance of buildings of architectural and historic interest and that attention will be given to protecting the settings of listed buildings. This site is designated as "countryside" and the proposed development will further erode the villages connection to that countryside. Whilst no longer impacting directly on Ladymeade .

The view from Harleston Hill will be compromised as the Post Mill housing estate of 39 houses will be visible in winter. This vista is protected under the NDP.

Flooding and Sewage Egress

Flooding and sewage egress are very serious issues in Fressingfield and of great concern to villagers. They affect the quality of life and create health issues., which have been brought to the attention of Public Health England by Suffolk's Director of Public Health.

There are two discrete, but linked issues. Firstly surface water flooding and secondly the egress of sewage onto the highways and into gardens.

Flooding

We believe that significant flooding is underreported. It occurs primarily in Low Road/Cratfield Road, but serious flooding has also occurred in other parts of the village. We know that it occurred four times in five months between 22 December 2017 and 24th April 2018 and twice in 2019 . It is a long standing problem and has occurred over a number of years. (see SAFE web site fressingfieldhousing.org "Low Road historic flooding" where there are representative photos at 20 year intervals) The problem does not only occur in Winter, but also occurs in Summer (12 July 2016) .Flooding is caused by 3 factors- the overtopping of the Beck, the sewer manholes being raised and the excessive surface water running down from the high point of the village to the low point, Low Road. Fressingfield is unique in being surrounded by hills, to the east (Buckingham) west (Harleston) north (Church Hill) and south (Canser) .The soil is heavy clay and impervious. The roads themselves act as conduits bringing water to the low point of the village, eventually entering the Beck. Increased water into the Beck increases the likelihood of overtopping.

With climate change this situation would be expected to worsen.

Sewage Egress

In Low Road, at times of heavy rainfall the sewerage manhole covers lift and raw sewage and sanitary products spill onto the road and into gardens. The contaminated water flows into the Beck to be dissipated further. The reason for this is that surface water is entering the closed foul sewer thereby reducing the functional capacity of the sewer.

This is a very long standing problem. There exists correspondence between the then MP Michael Lord and the CEO of Anglian Water, Peter Bray. The Chief Environmental Health Officer was also involved.

The problem is becoming more common and more severe. The contamination has been such that Anglian Water have had to provide teams to clean up the debris. Sewage egress has occurred 9 times in the last 2 years.

In May 2018 Dr. Abdul Razaq, the then Director of Public health wrote" I would agree that the situation relating to sewage leaks is not acceptable and unpleasant."

More foul sewage that is discharged into the sewerage the less space there is for surface water thereby increasing the risk of the manhole covers being elevated. This development will impact on the sewerage and result in off site flooding. It is significant that the Applicant for John Shepherd and Stradbroke Road recognises this serious issue and has chosen to investigate [sic] possible mitigation.

The Applicant for Post Mill ignores the problem and falls back on the Appeal Report which has now been superseded with Anglian Water recognising that under certain circumstances the sewerage does not have capacity.”

In an email dated 25 September 2020 Elizabeth Manero [S.A.F.E.] wrote:

“In your report to the Committee (attached) back in November 2018 when 1432/17, 1449/17 and 1648/17 were unanimously rejected by the Committee, you quite rightly drew that attention of the Councillors to the requirements of the NPPF on assessing cumulative impact (at page 7): *The NPPF [2018] makes 10 different references to the need to take cumulative impacts into account. In particular:*

- *paragraph 49 in relation to prematurity in the context of emerging local plans*
- *paragraph 109 in relation to highway impacts*
- *paragraph 156: in relation to flood risk*
- *paragraph 180: in respect of pollution’*

As the three pending applications are direct successors to the previous ones, there is no reason to depart from the principle you set out in 2018 – indeed it is hard to see how legally compliant decisions can be arrived at without them being heard together, because of the requirements of the NPPF to which you refer. I would be very grateful if you would please confirm that the three applications will be heard together.

Finally, we do realise of course that it has been extremely difficult to progress things as usual with all the constraints you are under. However we just wondered whether you were able to give us any update on the remote meeting you kindly set up with us and others back in March, in relation to the idea of concrete holding facility for sewage on New St? I have attached your notes again. The sewer is continuing to overflow regularly – it is overflowing now and last did so on the 7th August. “

Members are advised that SAFE has been pursuing the following complaints

1. Formal complaint to the Consumer Council for Water about Anglian Water’s ongoing failure to a) provide accurate information about the contributory factors causing the sewage flooding to the local planning authority in discharge of its statutory functions, and b) to resolve the problem,
2. Formal complaint to Ofwat about Anglian Water’s ongoing failure to act in accordance with relevant factors and provide accurate information, who contend that it is the responsibility of yourselves to verify the information from Anglian Water
3. Correspondence with the lead Cabinet member for the environment at Suffolk County Council about the Council’s legal responsibility in respect of sewer flooding under the relevant legislation
4. Internal review of Anglian Water’s response to our application under the Environmental Information Regulations
5. Correspondence with the environment agency about actions they can take against Anglian Water on their repeated pollution of a water course
6. Request to the Environment Agency that they notify the local planning authority that there are areas in Fressingfield that are subject to critical flooding, changing the level of flooding assessment required from the applicants

7. Formal complaint about MSDC's Environmental Health department for their failure to a) provide accurate information to its planning department to inform their planning decisions and b) to take action on statutory nuisance c) to provide a reporting mechanism for sewage pollution or any public access to records about such pollution
8. Correspondence with MSDC's Director of Public Health about ongoing public health hazards of repeated pollution which has happened more than 6 times since October alone.

Planning History

REF: 1648/17 Application for outline planning permission with all matters reserved for up to 24 dwellings and associated roads, infrastructure and open space **DECISION:** REF 22.11.2018

Subsequent appeal dismissed

REF: 3216/08 Details of Ten dwellings including external appearance, scale, siting, layout, design and landscaping of the site, being reserved matters pursuant to Outline Application 512/05 for the demolition of existing storage sheds and erection of residential dwellings (inc affordable housing) & associated roadways together with details of access pursuant to condition 14. **DECISION:** GTD 24.12.2008

REF: 0512/05 Outline application for the demolition of existing storage sheds erection of residential dwellings (inc affordable housing) & associated roadways. **DECISION:** GTD 01.05.2008

REF: 0005/03/OL Erection of 37 residential dwellings (including 9 affordable housing) and associated roadways, following demolition of existing chicken sheds. **DECISION:** REF 11.03.2003

Applications that were concurrent with and determined at the same meeting as the previous 24 dwelling scheme at Post Mill Lane.

1432/17
Land West Of John Shepherd Road

Application for Outline Planning Permission with all matters reserved for residential development, up to **99** dwellings, including affordable housing, together with the construction of estate roads &

footpaths, drainage, landscaping & the provision of public open space, including children's play space

REFUSED [not appealed]

1449/17

Land Off Stradbroke Road Street Farm

Outline application for residential development - (up to **85** dwellings including affordable housing) together with the construction of estate roads and footpaths, drainage, landscaping and the provision of public open space, including children's play space.

REFUSED [not appealed]

Concurrent applications [with current Post Mill Lane proposal] in Fressingfield

DC/19/05740

Land West Of John Shepherd Road

Application for Outline Planning (all matters reserved) - Residential development (up to 27 dwellings, including affordable housing) and the construction of estate roads and footpaths together with related drainage and lands [Yet to be determined]

DC/19/05741

Land Off Stradbroke Road, Street Farm

Outline Planning Application (all matters reserved) - Erection of shop (Class A1) and residential development (up to 21 dwellings including affordable and self-build housing), construction of access road, driveways, parking areas and footpaths with related drainage and landscaping [Yet to be determined]

DC/20/03457

Land And Buildings At Red House Farm, Priory Road

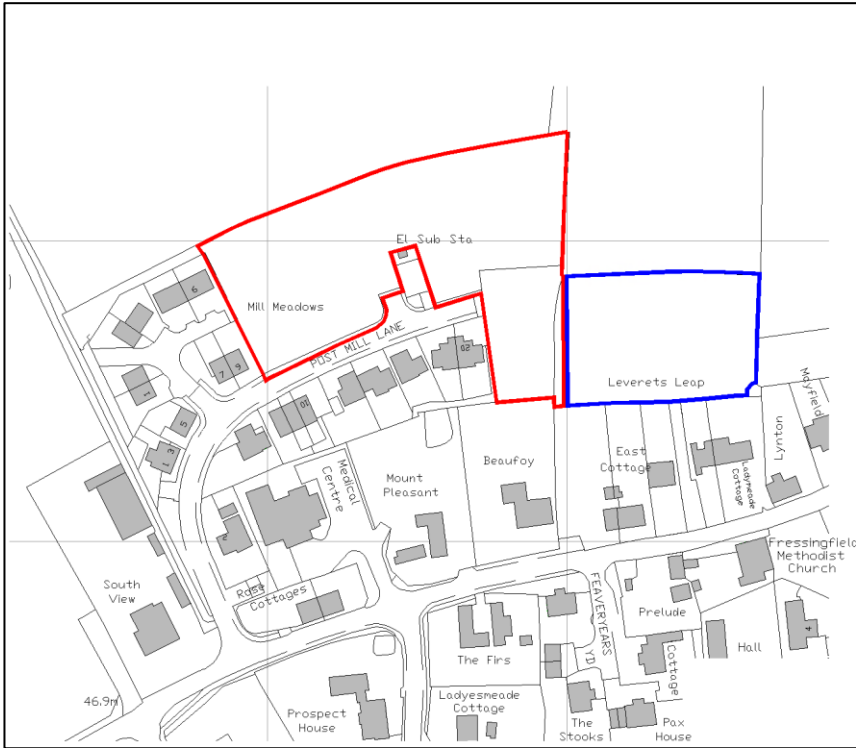
Reserved Matters application relating to Hybrid Permission 4410/16. Submission of details for the Outline Planning Permission for Layout, Landscaping, Appearance and Scale for the construction of up to 28no dwellings (some [Yet to be determined])

PART THREE – ASSESSMENT OF APPLICATION

1. The Site and Surroundings

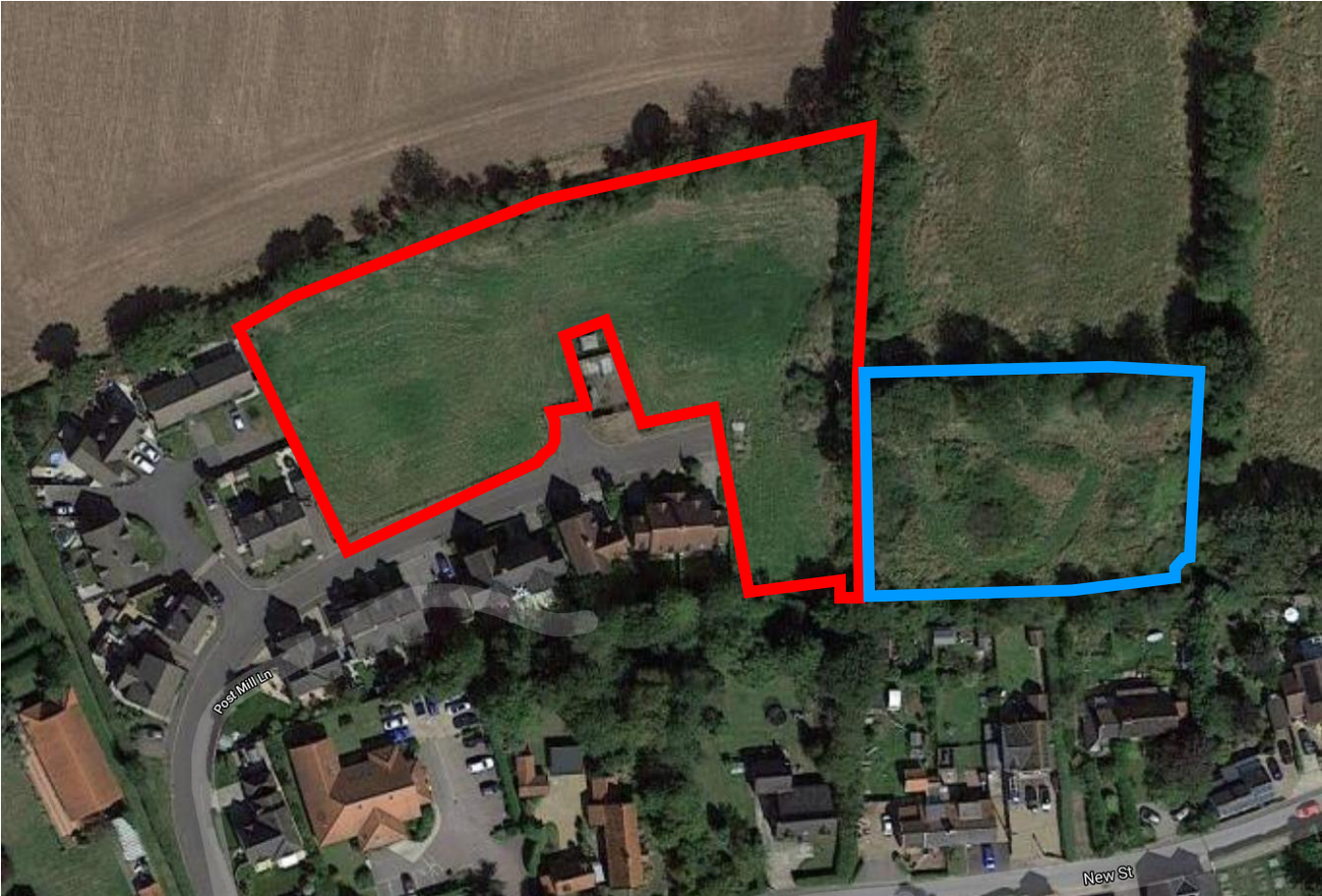
- 1.1. This 0.56ha. site comprises an L-shaped parcel of land formed by a large rectangular plot on the north side of Post Mill Lane and a smaller rectangle on the south side. On the inside elbow is an existing pumping station and enclosure.
- 1.2 The site is located on the western edge of Fressingfield and accessed via Post Mill Lane, a cul-de-sac which leads off New Street and currently provides access to 21 dwellings which are situated to the immediate west and south of the application site.
- 1.3 The application site is bounded to the north by agricultural land. Situated to the south and west of the western part of the field are the two small residential developments which constitute the existing residential development on Post Mill Lane.
- 1.4 Immediately to the east is an enclosed field which has been left to regenerate naturally. This plot unlike the previously unsuccessful proposal for 24 dwellings is not within the present application site.
- 1.5 At present, Post Mill Lane (adopted public highway) runs to the front of these developments and terminates at the boundary of the application site.
- 1.6 The southern boundary of the eastern part of the field borders residential gardens. These gardens are associated with properties fronting onto New Street and are generally older houses forming part of the historic settlement pattern of the village.
- 1.7 The northern and eastern boundaries of the site are demarcated by mature hedgerow planting.

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◀ figure 1: **site plan**

▶ figure 2:
site marked on aerial image



2.0 Fressingfield – An Overview

2.1 Fressingfield is defined as a 'Primary Village' in the Adopted Core Strategy Development Plan Document [September 2008] [Policy CS1]. A Primary Village is one that is considered capable of limited growth where local need has been established. Primary Villages are expected to have basic local services including a primary school and food shop.

Within Fressingfield facilities, including the following, can be found:

- a small village shop [*Fressingfield Stores – Mace*]
- a primary school [*Fressingfield CofE primary School*]
- a GP surgery [*Fressingfield Medical Centre – Fressingfield and Stradroke Surgery*]
- a bowls club
- a tennis club
- playground
- 3 x places of worship [*Methodist Church, Fressingfield Baptist Chapel St Peter and St Pauls Church*]

2.2 Fressingfield is defined as a Hinterland Village⁴ in the JLPPOD⁵ [July 2019] Currently the JLP has limited weight as a material planning consideration because it represents an early stage of the Emerging Local Plan process. Such settlement definitions may also be subject to change as the Local Plan process moves on through the various stages of consultation and analysis.

2.3 Fressingfield has an estimated population of approximately 2347 [2016]. It has a higher proportion of over 65's and a lower proportion of 0 – 15 year olds and 16 - 64 year olds than the Suffolk average.

2.4 The current number of properties in Fressingfield is 1080 [2017]. This produces an average occupancy rate of 2.17 people per dwelling.

2.5 The nearest 'towns' are:

- Eye 8.8ml 19 mins
- Diss [Norfolk] 13.7mls 25mins
- Harleston 4.7ml 9 mins

2.6 The closest 'Key Service Centre' is:

- Stradbroke 3.7mls 8mins

2.7 The village is served by just one operator and one route. The 552⁶ ROUTE- Metfield – Fressingfield- Worlingworth – Framlingham [operator - Simonds]

⁴ D. Development within Hinterland and Hamlet Villages will be permitted within settlement boundaries where: I. Design is sympathetic to its rural surrounding and demonstrates high-quality design by having regard to the relevant policies of the plan; II. A high standard of hard and soft landscaping, appropriate for the location is used; III. Hedgerows and treelines which make an important contribution to the wider context and setting are protected, particularly in edge of settlement locations; and IV. The cumulative impact of proposals will be a major consideration.

⁵ Joint Local Plan Preferred Options Document 2019

⁶ Update will be provided at the meeting

- 2.8 The service is restricted to week day school days and provides one bus out of Fressingfield [Fox & Goose stop] at 07.54 hrs. and one again arriving in Fressingfield at 16.41 hrs. [Fox & Goose stop]
- 2.9 The closest 'A' road is some 4.55miles away in the shape of the Needham/Harlesden junction on the A143 or 13.3 miles away in the form of the Yoxford junction on the A12.
- 2.10 The nearest railway station is Diss which is approximately 10 miles away by road.

3.0 The Proposal

- 3.1 This is an **outline** planning application for up to 18 dwellings including 6 affordable units [35%] with **ALL** matters reserved
- 3.2 The proposal is accompanied by the supporting documentation that includes:
- Illustrative Layout Drawing
 - Flood Risk Assessment [amended]
 - Preliminary Ecological Appraisal
 - Transport Note Report
 - Contaminated Land Assessment
 - Geotechnical Report
 - Reptile Survey
 - Planning Statement
 - Arboricultural Report
 - Soil Percolation Test Report
 - Sustainability Report
 - Wildlife area management plan
 - Wildlife area masterplan
- 3.3 Members are therefore being asked to consider the principle of residential use only but to do so in the knowledge that the applicant if successful will seek to construct up to 18 dwellings. The application is accompanied by 'illustrative' layout drawings which the applicant seeks to demonstrate how that many units might be arranged to accommodate up to 18 dwellings. The drawings do not however formally constitute part of the application.
- 3.4 In the event that after consideration of all material considerations Members find the proposal acceptable it should be noted that unless the number of units is conditioned the permission in terms of overall dwelling numbers will not be fixed. It should also be noted that whilst all matters including layout are reserved experience indicates that unless total unit numbers are conditioned the 'up to' number suggested in the description of any development is perceived after the event by developers as the actual number rather than the upper limit only if all other aspects of policy can be satisfactorily accommodated. To that extent reference to 'up to' can be misleading. Members are therefore advised to assess the merits of the proposal in the light that reserved matters approval for 18 dwellings may

be sought rather than a lesser number. This report will therefore provide commentary upon the merits of the indicative layout and the extent to which it accords with policy.



figure 3: amended layout plan

3.5 The application is supported with a provisional commitment to providing community gain via a S106 Agreement - Any draft S106 Agreement would need to secure the following were Members minded to grant outline planning permission. These are considered to pass the C.I.L. Reg 122 test.

4.0 DETAILED OFFICER ASSESSMENT of THE MERITS of the APPLICATION

4.1 Relevance of the Appeal Decision in respect of the refusal of 24 dwellings in Post Mill Lane by the same applicant

4.1.1 In considering the merits of the present application regard needs to be given to the appeal decision of 25 September 2019 in respect of the proposal reference 1648/17 [outline 24 dwellings, Post Mill Lane].

4.1.2 It is now a material planning consideration because in reaching the decision he did to dismiss the appeal, the Inspector considered and commented upon many of the issues that arise from the proposal currently under consideration. Whilst the policy background may have changed since the decision was issued his comments remain, in large part, relevant.

4.1.3 Members may recall that the proposal for up to 24 dwellings was refused on four grounds. Namely; *[in summary]*

1. *Contrary to policy for primary villages in that proposed development is not small scale and represents development in the countryside outside of the settlement boundary; and.*
2. *Adverse impact on highway safety [Jubilee Corner and New Street]; and,*
3. *Exacerbate local flooding problems which results in raw sewage in some streets during periods of high rainfall; and,*
4. *Less than substantial heritage harm to the listed building 'Ladymeade' - The nature and degree of that harm not being suitably outweighed by the potential public benefits that might arise from the proposed development*

4.1.4 The Inspector dismissed the subsequent appeal in a decision letter dated 25th September 2019.

4.1.5 In his decision the Inspector cited as the main issues:

Issue 1

Whether the site would be an appropriate location for residential development having regard to the development plan and national planning policies and the character and appearance of the area;

4.1.6 In his conclusions on this issue it is important to note that the Inspector stated:

- "12. No substantive evidence has been submitted to demonstrate that the proposal would comply with any of the exceptions outlined within the CS. Nor is the development necessary for the purposes of agricultural or other activities appropriate to the countryside listed under CS Policy CS2. Therefore, the principle*

of the development in this location would be contrary to policies CS1 and CS2 of the CS”

- “13. Paragraph 78 of the Framework states that housing should be located where it will enhance or maintain the vitality of rural communities. The appellant contends that the site is highly deliverable and would be within reasonable access to services and facilities within the village, including Fressingfield Primary School. Therefore, the development would contribute towards the vitality of rural communities. I give these benefits some weight.”*
- “14. Turning to the character and appearance of the area, the site is broadly separated into two separate fields. The first section includes the area located around the existing road of Post Mill Lane2. The second part of the appeal sites relates to the smaller parcel of land adjacent to this field and to the rear of the Grade II listed Ladymeade Cottage. The first part of the appeal site which fronts Post Mill Lane and is adjacent to the existing modern housing development appears more like open space associated with the existing housing development. As such its contribution to the open countryside is limited. Therefore, despite the site being outside of the settlement boundary for the village, I find that the principle of the development on this part of the site would not harm the character and appearance of the countryside.”*
- “15. However, the second part of the appeal site to the rear of existing properties on New Street, including the Grade II listed Ladymeade acts as a break in built development. Unlike the first part of the appeal site, the existing road of Post Mill Lane, does not surround this existing field. This part of the appeal site has a distinctly more natural and rural character surrounded by dense vegetation and mature trees which makes a positive contribution to the open countryside at the edge of the village. The proposed illustrative plan shows a new access driveway and the introduction of up to ten dwellings into this part of the site. The proposed development, regardless of access, scale, appearance, layout and landscaping would introduce a significant amount of built form and hard surfacing into this area and reduce the undeveloped qualities of the site which is currently laid to grass with dense vegetation and trees. As a consequence, the development would erode the contribution that this part of the site makes to the open countryside and would harm the character and appearance of the countryside.”*
- 16. For the reasons set out above, whilst the proposed development would contribute towards the vitality of rural communities, I conclude that the site is not a suitable location for new housing, having regard to the development plan and national planning policies, and the character and appearance of the area. In this respect the proposal would be in conflict with the aims of CS Policies CS1 and CS2, outlined above. It would also not meet the aims of paragraph 170 of the Framework, in terms of recognising the intrinsic character and beauty of the countryside. Whilst the submitted drawings are indicative only, there is no evidence before me which leads*

me to consider that an alternative layout would satisfactorily overcome the harm identified”

4.1.7 Reference to this decision and its relevance to the case at hand will be made throughout this report

4.2 The Adopted Development Plan and the Principle of Development

4.2.1 This Committee Report deliberately quotes extensively from this section of the Inspector’s report because each has a strong resonance and relevance to the case in hand.

4.2.2 First off in paragraph 12 The Inspector acknowledges that the proposed development is contrary to policies in the Core Strategy [*citing CS1 & CS2*] in that the principle of development in this countryside setting [beyond the settlement boundary] is unacceptable. The Council’s Adopted Development Plan remains as it was at the time of the appeal and therefore the proposal remains contrary to it (and in effect the development plan as a whole).

4.2.3 However, since the previous application was refused on 22 November 2018 and the appeal dismissed on 25 September 2019 Fressingfield has seen the Adoption of the Fressingfield Neighbourhood Development Plan [March 2020].

4.2.4 The first Neighbourhood Plan Policy to consider as highly relevant is FRES 1 Housing Provision. It states:

“The Neighbourhood Plan area will accommodate development commensurate with Fressingfield’s classification within the settlement hierarchy.

This Plan provides for around 60 dwellings to be developed in the Neighbourhood Plan area between April 2018 and March 2036. This growth will be met through:

- i) The allocation of the following sites for development: a) Land at Red House Farm – approximately 28 dwellings b) Land West of School Lane – approximately 18 dwellings*
- ii) small ‘windfall’ sites and infill plots within the Settlement Boundary that come forward during the Plan period and are not specifically identified in the Plan;*
- iii) conversions and new development opportunities outside the Settlement Boundary in accordance with paragraph 79 of the NPPF 2019*

The focus of new development will be within the Settlement Boundary as defined on MAP 5.1.

Proposals for new residential development outside of the Settlement Boundary, other than development in accordance with paragraph 79 of the NPPF 2019 or residential extensions, will only be permitted where it can satisfactorily be demonstrated that there is an identified local need for the proposal supported by a

housing needs assessment and that it cannot be satisfactorily located within the Settlement Boundary.

Allocated sites and the Settlement Boundary are shown on Map 5.1”

4.2.5 The first things to note are that the application site is not:

1. identified for residential development in the Neighbourhood Plan on *Map 5.1* ; and,
2. within the settlement boundary as drawn in the Adopted Neighbourhood Plan; and,

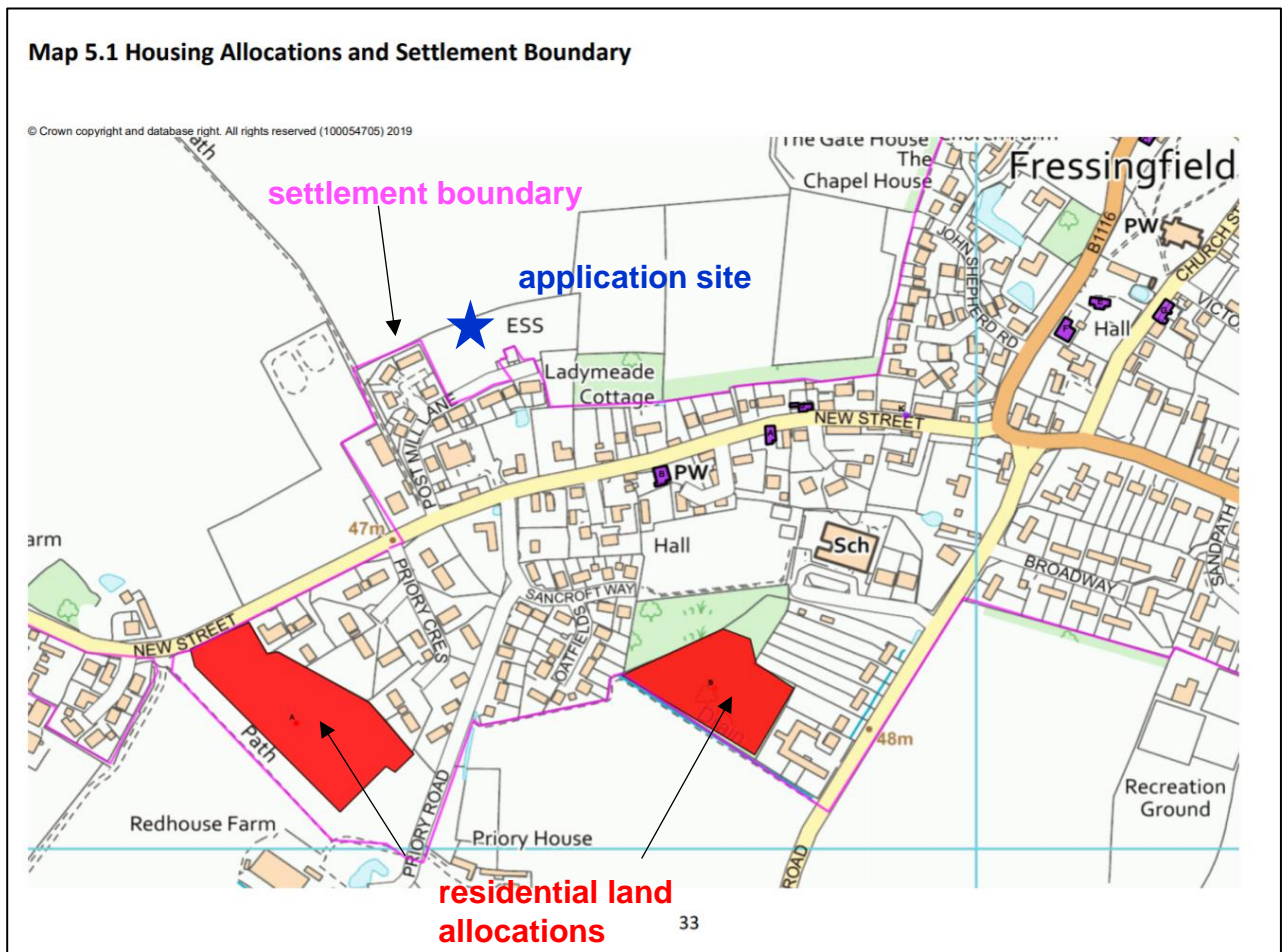


figure 4: **Extract from Adopted Fressingfield Neighbourhood Development Plan [March 2020]. Map 5.1 [policy FRES 1]**

and, in terms of the application itself it is not:

3. specifically submitted to support a local need as identified through a housing needs survey;

but:

4. in terms of paragraph 79 of paragraph 79 of the NPPF⁷. The site cannot be considered to be isolated

4.2.6 It is therefore contrary to Neighbourhood Plan Policy FRES 1. The Fressingfield Neighbourhood Plan now forms part of the Council's Adopted Development Plan and is itself 'up-to-date'

4.2.7 Mid Suffolk District Council is able to demonstrate that it has a 5-Year Housing Land Supply [5YHLS] and therefore the Council is not required to exercise the 'tilted balance' in respect of Housing Supply as otherwise required by the Government in situations where this is not the case.

4.2.8 The Council also has a good delivery record for new housing.

4.2.9 Therefore when assessed against the twin considerations of the 5YHLS and the record of housing delivery across the District there is no justification on these grounds to approve the application as a departure from policy FRES 1 or Policy CS2 the Adopted Local Plan.

4.2.10 As previously stated the site sits outside of the defined settlement boundary for Fressingfield and is therefore within the countryside. In pure land use policy terms residential development is precluded in such locations by Policy CS2 [Adopted Core Strategy]. [as well as FRES1]:

"In the countryside development will be restricted to defined categories in accordance with other Core Strategy policies....." [CS2].

4.2.11 The proposed development meets none of the 'exception to policy' criteria set out in CS2.

4.2.12 The proposed development is therefore contrary to policy CS2.

NPPF

4.2.13 It must however be recognised that Policy CS2 has been held to be out of date at appeal because it is not compatible with the NPPF insofar as CS2 excludes development in the

7

"Planning policies and decisions should avoid the development of isolated homes in the countryside unless one or more of the following circumstances apply:

- a) there is an essential need for a rural worker, including those taking majority control of a farm business, to live permanently at or near their place of work in the countryside;
- b) the development would represent the optimal viable use of a heritage asset or would be appropriate enabling development to secure the future of heritage assets;
- c) the development would re-use redundant or disused buildings and enhance its immediate setting;
- d) the development would involve the subdivision of an existing residential dwelling; or
- e) the design is of exceptional quality, in that it: - is truly outstanding or innovative, reflecting the highest standards in architecture, and would help to raise standards of design more generally in rural areas; and - would significantly enhance its immediate setting, and be sensitive to the defining characteristics of the local area."

countryside save for cited exceptions. The same has also been true in respect of policies CS1 and H7.

4.2.14 In terms of parts of the Core Strategy and Adopted Local Plan being out of date it remains the starting point for all decision making. It must also be recognised that as it was adopted as recently as March 2020 and is part of the Council's Adopted Development Plan it takes precedence over out of date policies in the Adopted Core Strategy where there may be a conflict.

4.2.29 Conclusion [principle of the use]

4.2.30 Establishing whether a proposal complies [or not] with land use policy is the but the first step in assessing the merits of any proposal. If it is established that there is a conflict with policy then the next steps are to assess the extent to which policy/policies are breached and then identify the the material harm that is likely to arise to an interest of acknowledged importance and whether or not this can be suitably mitigated.

4.2.31 The proposed development is contrary to CS2 and AFNDP20 Policy FRES 1.

4.2.32 The AFNDP20 is not as robust as it might otherwise because it relies on a small number of houses being provided through windfall sites. but the overall shortfall in allocated sites is minimal. Certainly, less than proposed here.

4.2.33 If one is to assess the planning harm that arises from the proposed development – this being the test at appeal one only has to look as far as the previous Inspector to realise that the development is in principle sustainable and therefore in line with the central plank of the NPPF. [*sustainability being the Golden Thread' that stitches it altogether*]

4.2.34 On this basis the principle of the proposed development is considered acceptable despite strong local objection and despite the Adopted Fressingfield Neighbourhood Plan seeking to preclude development other than exceptions outside of the settlement boundary for the reasons described. This is on account of the fact that the development is not isolated (and would accord with the policies of the NPPF), and the quantum of development proposed would not significantly exceed the aspirations of the AFNDP20 but where noting that the *District's* housing policies are out of date. The conclusions of the appeal Inspector have also been factored into account. Therefore, where policy breaches are acknowledged, and the development would not comply with the plan as a whole in this respect, the significance of those conflicts are considered to be less weighty.

4.3 Mix, Size, Tenure and type of accommodation

4.3.1 Whilst at 18 dwellings the proposal comprises 6 fewer units than that previously refused the Inspector's comments in respect of the previous proposal at paragraph 13 of the appeal decision are germane.

4.3.2 The Inspector acknowledged that the proposal would fall within *paragraph 78* of the Framework which states that:

“housing should be located where it will enhance or maintain the vitality of rural communities” when he accepted the appellants contention that *“the site is highly deliverable and would be within reasonable access to services and facilities within the village, including Fressingfield Primary School”*.

4.3.3 On this basis he accepted that:

“..the development would contribute towards the vitality of rural communities.” and he gave *“these benefits some weight.”*

4.3.4 In many ways his conclusion in respect of this aspect of the previous development is equally applicable to the present proposal and indeed is within the spirit of the *‘Vision for Fressingfield’* set out in the Fressingfield Neighbourhood Development Plan [March 2020] which states:

‘By 2036, having built on its reputation, the parish of Fressingfield will continue to be a good place to live with a welcoming, friendly and cohesive community, with its vibrant and diverse range of facilities and cultural activities meeting the existing and future needs of the village and its rural hinterland. It will have a robust and sustainable infrastructure and will be a place where natural and historic assets are protected. Through high quality design and the use of sustainable materials, new development will be sympathetic to local building styles and enhance the character of the area’.

4.3.5 It is appropriate now to consider the merits of the application against Policy FRES2 ‘Housing size, type and tenure’ as this too is relevant. It states:

“Encouragement will be given to a wide range of types of housing that meet local needs to enable a mixed and inclusive community.

In line with the latest evidence of need, developments should provide:

- Housing for older people (e.g. Retirement living housing /supported / sheltered housing, bungalows and retirement complexes)*
- Family housing – (2-3 bedrooms)*
- Starter homes/first time buyers • Adaptable, ‘life-time’ homes*
- Affordable housing Support is given for maximising the delivery of affordable housing on all qualifying sites in Fressingfield.*

It should be noted that the above housing types may not be suitably accommodated on every site.”

4.3.6 Looking at this policy to what extent does it meet the criteria within it?

- *Older people*

The units are not sheltered or specifically for those of retirement age but as a result of a revision since its original submission the proposal does now include a bungalow. It would therefore appear to comply with this element of FRES 1

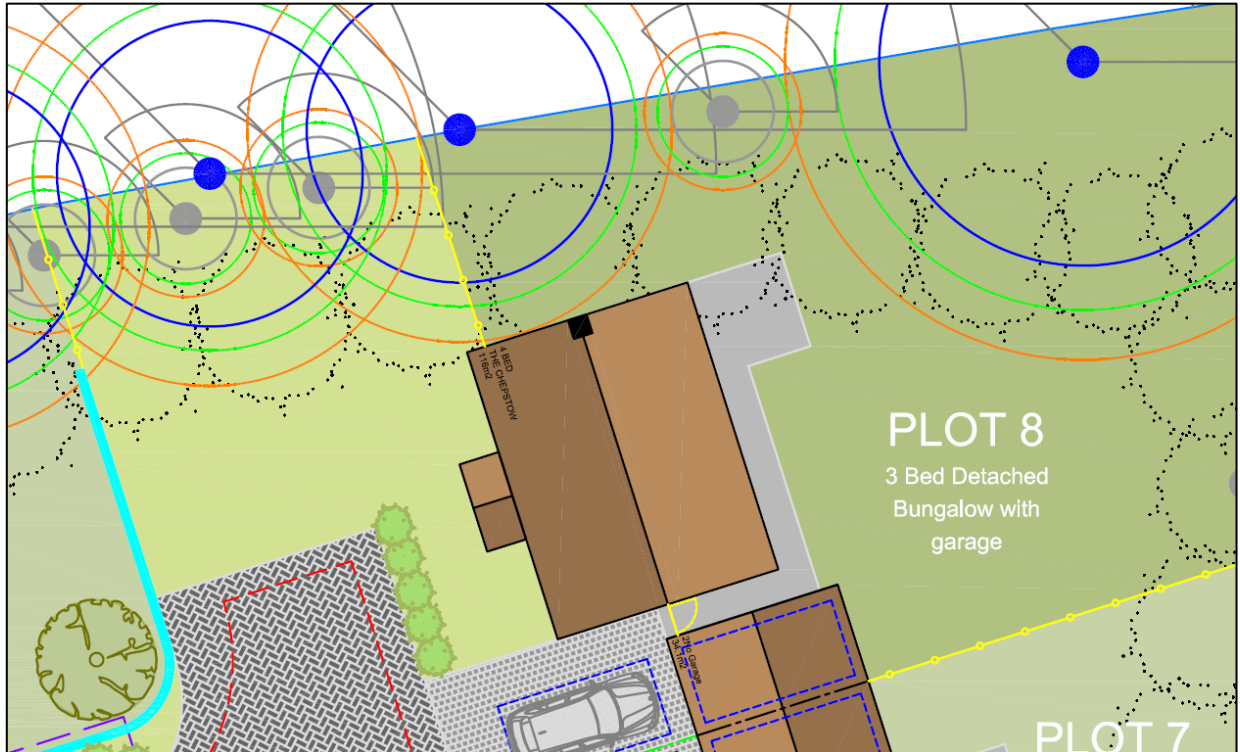


Figure5x: **Plot 8 bungalow included in amended layout**

- *Families [2 & 3 bedroom dwellings]*

Of the 18 units seventeen of them are shown as 2 or 3 bedroom units on the illustrative layout. [with the remaining one units being a 4 bed detached dwelling]. Judged against this criterion the proposal does qualify as the type of family accommodation sought in Fressingfield as defined in Policy FRES2.

- 8 x 2 bed semi-detached houses
- 1 x 3 bed bungalow
- 2 x 3 bed semi-detached houses
- 3 x 3 bed terraced houses
- 3 x 3 bed detached houses
- 1 x 4 bed detached house

- *Starters / first time buyers*

This cannot be ascertained from the illustrative layout.

- *Adaptable / life time homes*

This is an outline application and unit size and facilities is something that would be resolved at Reserved Matters stage [provided suitable conditions are attached to any outline planning permission if such is granted]. The extent to which the Council can require all dwellings to meet a life time homes [or equivalent] standard is limited to current national guidance and the Building Regulations as the Council does not have a specific planning policy in respect of this issue. All of the units will be expected to meet Nationally Described Space Standards [NDSS].

- *Affordable Housing.*

The proposed development includes 6 affordable dwellings [35% of total]⁸

6 x 2 bed houses

This aspect of the proposed development conforms to the relevant criterion

4.4 Layout, Design & Density

- 4.4.1 This is an outline application supported with an illustrative layout and no elevations as is normal in such circumstances.
- 4.4.2 The layout has been subject to extensive negotiation and is considered to form a good basis for underpinning Reserved Matters if Members were to be minded to grant outline planning permission and wished to tie the future layout to a basic layout plan.
- 4.4.3 The layout includes a central area of formal open space that is overlooked and well surveilled by adjacent property. One side of this proposed open space adjoins the existing pumping station and its brick wall enclosure.
- 4.4.4 Whilst the existing pumping station and GRP housing may not be particularly attractive the fact that most of the pumping station is enclosed within a high red brick wall below which the plant sits is well considered compared to what is normally provided – this being a metal palisade fence or wooden fence.

⁸ As rounded down in line with policy. 35% of 18 dwellings = 6.3 dwellings



figure 6: **Existing pumping station and enclosure surrounded by application site**

- 4.4.5 This could be an ideal opportunity to further soften the visual impact of the utility within a landscaping scheme for the new development [*condition therefore suggested*]
- 4.4.6 The existing section of Post Mill Lane that serves existing development on its south side will be used to deliver access to the north and a short eastwards extension will serve a limited number of properties at the eastern end of the site.
- 4.4.7 Dwellings are suggested as being two storey with one bungalow and this reflects the scale of the recent development that exists in Post Mill Lane.
- 4.4.8 Similarly proposed density is reflective of that recent built in Post Mill Lane.
- 4.4.9 There is no reason to suggest that house types will be any different to those previously approved and built in which case they will prove attractive and harmonious
- 4.4.10 There is no reason to expect off-street parking levels not to meet the Council's adopted standards [refreshed 2019] at Reserved Matters Certainly the indicative layout shows at least two off-street spaces per dwelling with the 4 bed unit having additional space to deliver more.



figure 7: **Existing cottage style dwellings within Phase 1 with application site beyond**



figure 8: **Existing nicely designed and proportioned dwelling within phase 1 with attention to detail and a curved brick wall to the frontage [good urban design]**

- 4.4.11 As the application is in outline and as the proposed layout is purely illustrative Members cannot rely on the presently suggested mix/size as being what is included in any reserved matters application *[in the event that outline planning is granted]* unless that is conditioned. In that case Members could if so minded indicate a requirement for a number of bungalows in order to fully satisfy FRES 2 and eventual mix could be a matter to determine at Reserved Matters by condition attached to any outline permission if so granted.
- 4.4.12 The affordable housing element will, if Members are minded to grant permission, be secured by S106 Agreement.
- 4.4.13 Therefore, in terms of FRES 2 the proposal may be said to generally comply presently with the criteria .

4.5 Impact of the development [heritage & residential]

Heritage

- 4.5.1 By the time the Inspector gets to paragraphs 14 and 15 of the appeal decision, he is drawing a very clear distinction between the impacts of the western part of the site compared to that part which sat at the eastern end - to the rear of Ladymeade. That part is currently defined by boundary hedgerow which effectively encloses that part of the site as a discrete 'green'

pocket. The Inspector explicitly stated that it is development on this part of the site that is unacceptable. The current proposal does not include any development on that parcel of land and it is not included within the red line.

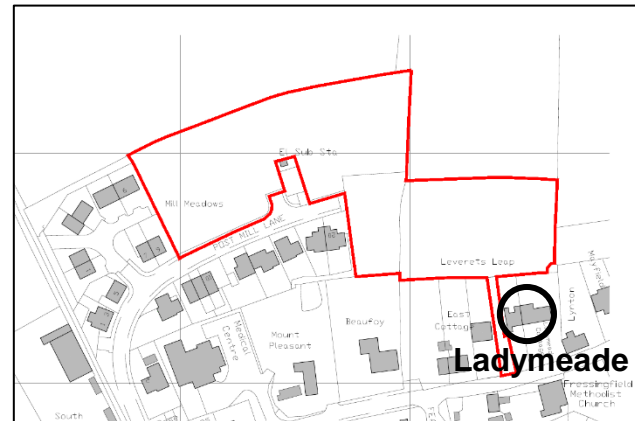
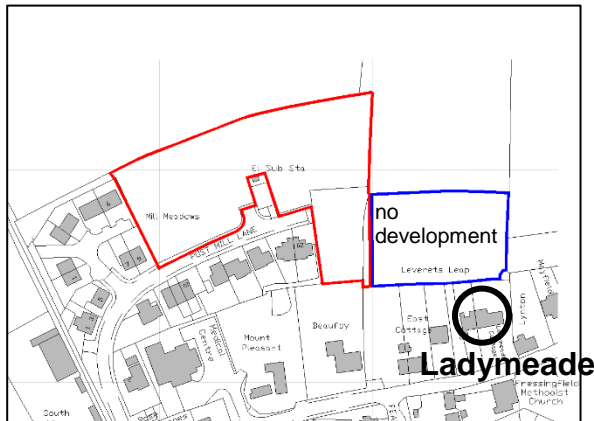


fig 9a: 2020 application site Ref: DC/20/011537 fig 9b: 2017 application site: Reference 1648/17

4.5.2 What cannot be lightly dismissed or ignored however are his comments in respect of the western part of the site when he states categorically that:

“...As such its [the western part of the site] contribution to the open countryside is limited. Therefore, despite the site being outside of the settlement boundary for the village, I find that the principle of the development on this part of the site would not harm the character and appearance of the countryside..” [extract from paragraph 14]

4.5.3 In so doing the Inspector has precisely qualified the point he made in paragraph 12 about the unacceptability of the whole proposal in terms of principle by identifying that part of the proposal which if it were to have been the only part would have been acceptable in his view.

4.5.4 What this does is give a clear signal to anyone who reads the decision as to what is required in the Inspector’s opinion, to make an acceptable proposal from the point of view of ‘principle of development’ - That is not to include the enclosed field behind Ladymeade.

4.5.5 The present applicant [*who is the same one as before*] has understandably acted on that signal and made revisions to the earlier layout that mean development is now restricted to the western part of the site. This leaves the field behind Ladymeade untouched and therefore following the Inspector’s conclusions should now result in no harm to the character and appearance of the countryside.

4.5.6 This was but the first of the issues looked at by the Inspector and in and of itself is not decisive. Other considerations [some of which the Inspector cited and some which may have arisen since the decision was issued.] also require careful scrutiny and analysis.

4.5.7 In the end and in the view of the Inspector the appeal revolved around whether or not the proposed development would adversely affect the setting of the Grade II listed Ladymeade. In his view it would and would do so to an extent that was not justified against NPPF

paragraph 196 in that the harm caused was not outweighed by the public benefits associated with the residential development.

4.5.8 In his conclusions on this issue it is important to note that the Inspector stated:

“25. Concluding on this main issue, the proposed development would not preserve the setting of Ladymeade and would result in harm to the significance of this listed building. Therefore, it would not accord with saved Policy HB1 of the Mid Suffolk Local Plan, 1998 (LP), which states that the Council places a high priority on protecting the character and appearance of all buildings of architectural or historic interest, and that attention will be given to protecting the settings of listed buildings. Whilst this policy is of some age, it is broadly consistent with the Framework policies on the conservation of heritage assets, including listed buildings, and therefore I attach significant weight to it.”

“26. It would also conflict with the relevant requirement of the Framework which seeks to conserve and enhance the historic environment. Finally, it would not preserve the setting of the listed building as required by Section 66(1) of the Act, but instead would be harmful. This carries considerable weight and importance to my decision.”

4.5.9 The latest proposal by avoiding any development within the enclosed field behind Ladymeade and by avoiding having a footpath connection running beside Ladymeade effectively leaves the immediate setting of the listed building untouched. It will continue to retain a vestige of its connection with the countryside that once spread out northwards from the backs of dwellings in New Street.



figure10: The field that is now outside of the proposed development area

4.5.10 Local Plan Policy HN01 is relevant and remains compatible with the objectives set out in the NPPF. HB01 states:

[THE DISTRICT PLANNING AUTHORITY PLACES A HIGH PRIORITY ON PROTECTING THE CHARACTER AND APPEARANCE OF ALL BUILDINGS OF ARCHITECTURAL OR HISTORIC INTEREST. PARTICULAR ATTENTION WILL BE GIVEN TO PROTECTING THE SETTINGS OF LISTED BUILDINGS.

4.5.11 The Council's Heritage Officer's comments are unequivocally clear in that the current 18 dwelling proposal is considered to cause NO HARM to the listed heritage asset that is Ladymeade. This is the officer who cited the previous 24 dwelling scheme with units behind Ladymeade as having 'less than substantial harm' thereby triggering the balance required by Paragraph 196⁹.

“ The application follows refusal of 1648/17 and dismissal at appeal. I advised on that proposal that loss of the immediate relationship of the listed Ladymeade Cottage with its rural surroundings was harmful.

The Inspector essentially supported this assessment.

*In the present application, the site is reduced by omission of land to the rear of the listed building Ladymeade Cottage. This revision in effect removes development to the rear of Ladymeade, overcoming the harmful impact of the previous scheme. **In my view the proposal now poses no harm to the setting or significance of the listed building.***¹⁰

I recommend imposing a condition requiring details of landscaping on any permission so that the site's eastern boundary will present a 'soft' edge of rural character. We would defer to the landscape expert on the details of any scheme put forward.”

4.5.12 The view expressed above is considered decisive in respect of the heritage impact and refusal of the current application on heritage grounds is not warranted or reasonable in that it will not, unlike previously, harm the setting of Ladymeade. If Members were minded to grant permission they could do so – in the event that they agree there would be no harm to heritage assets – consistent with their s66 duty that requires special regard to be paid to the desirability of keeping assets from harm.

4.6 Residential Amenity

4.6.1 The indicative layout has been carefully considered to avoid unacceptable problems to existing residents from undue overlooking and/or overshadowing and /or adverse impact on outlook.

⁹ Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use

¹⁰ Emboldening of the text is the planning officer's highlighting but the words are those of the Heritage Officer

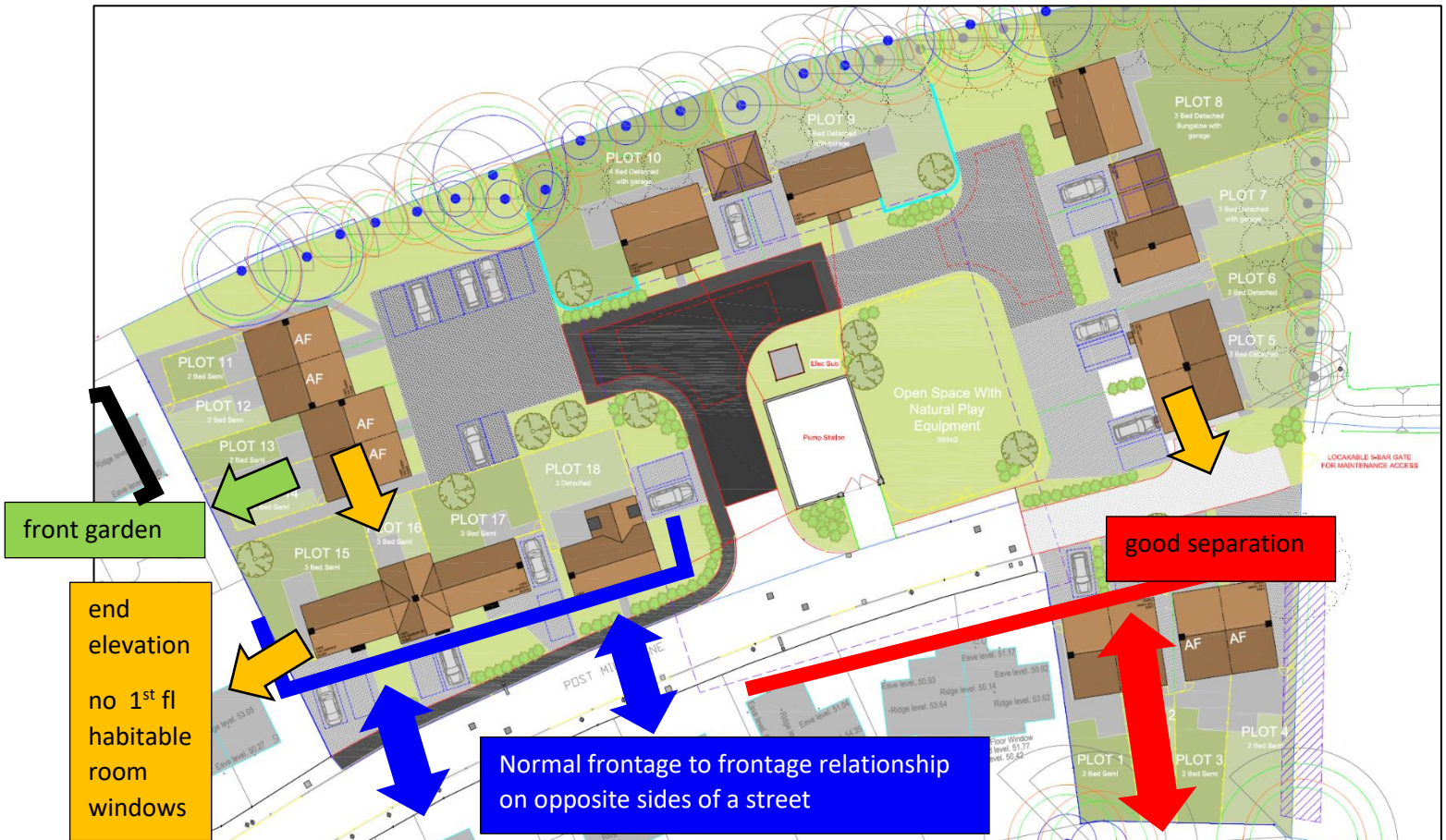


figure11: **Good amenity by design**

4.7 Greenspace, landscape, trees and wildlife/nature area

4.7.1 It should be remembered that this site sits within what is by definition¹¹ countryside and the Adopted Fressingfield Neighbourhood Development Plan at policy FRES 6 ‘Protecting landscape character and natural assets and enhancing village gateways/entrance’ sets out the appropriate policy. It states:

“The visual scenic value of the landscape and countryside surrounding Fressingfield village will be protected from development that may adversely affect its character.

Development that significantly detracts from the following views (shown in Map 6.1), by failing to respect their distinctive characteristics, will not be supported.

1) Long view of the Church looking north from Stradbroke Road

¹¹ Outside of the settlement boundary and therefore within terms of CS1 and CS2 is countryside

2) Views between the Church and Fox and Goose Public House

3) Long views looking west from Laxfield Road

4) View from the north looking south at Harleston Hill

Proposals should avoid harm to or loss of irreplaceable habitats such as ancient woodland and veteran trees unless there are wholly exceptional reasons and a suitable compensation strategy exists.

Proposals that would enhance the visual appearance of a natural asset in the parish or an entrance or 'gateway' to the village will be supported.

Opportunities to improve the public realm through the use of appropriate hard or soft landscaping measures will also be supported where they include the use of vernacular materials, native planting and the innovative application of energy efficient or recycled materials.

Proposals should be designed to ensure that gateway enhancements do not detract from highway safety and visual amenity and should minimise the need for additional lighting."

Map 6.1 is shown below for reference.

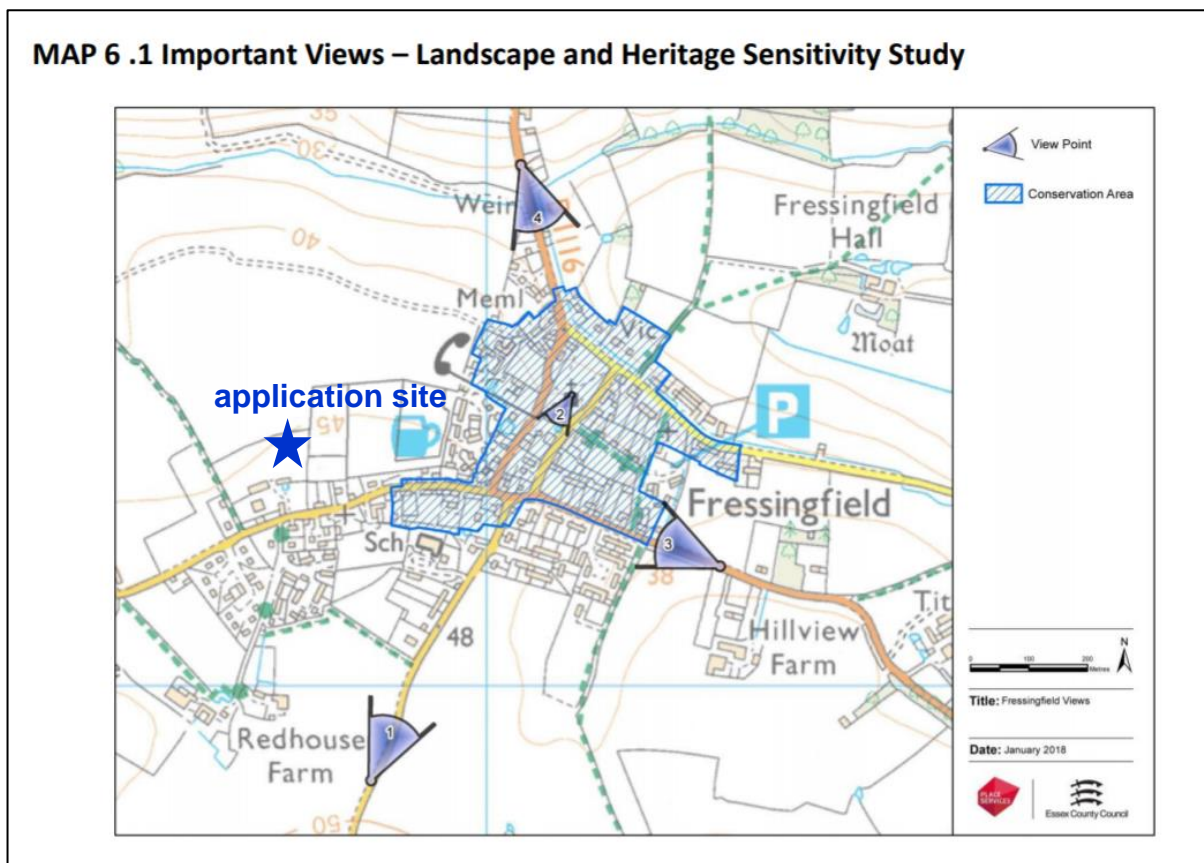


figure12: Extract from AFNDP20

4.7.2 As can be seen the site is not within any of the key vista points around the village as defined by map 6.1 and FRES 6.

4.7.3 That is understandable because as the Inspector noted the field which now forms the application site effectively reads as open space to serve the recent residential development immediately to the west and south. Indeed the fact that a pumping station currently stands alone at the eastern end of existing development in Post Mill Lane and that the estate road that serves Post Mill Lane already extends the length of the application site serving as it does presently development on its south side all conspire to puncture any impression that this remains open countryside.



figure13: Logical extension to phase 1?

4.7.4 Moreover, the application site is not identified as a local greenspace in the Fressingfield Neighbourhood Development Plan [March 2020] within Policy FRES 7 'Local Green Spaces' and does not appear on any of the Local Green Space Maps that accompany that policy [Maps 6.1a – 6.1d]

“FRES 7 Local Green Spaces

The following areas as shown on Map 6.2 a-d below are designated as Local Green Spaces as they are considered to be of local significance to their community due to their visual, historical, recreational or wildlife value:

- a) Graveyard and land to rear of Methodist Church, New Street*
- b) Land surrounding Fox and Goose (2 parcels) i) Sancroft Field and Paddock ii) Pond*
- c) Churchyard of St Peter and St Paul*
- d) Land south of Victoria Terrace – community gardens*
- e) Sports and Social Club playing fields, bowling green and play area*
- f) Pilgrims Green, Laxfield Road*
- g) Land at Church Farm Green*
- h) Graveyard at Baptist Chapel, Low Road*
- i) School Playing Field*

Proposals for development on the Local Green Spaces will only be permitted in very special circumstances.”

- 4.7.5 It must therefore be concluded that the site is not protected from development as a ‘Local Green Space’ It is however accepted that the site may not be so designated because it falls outside of the defined settlement boundary and therefore may be considered as countryside, although the Inspector, as cited earlier, did not accept it read as part of such any longer.
- 4.7.6 Development of this site is not considered to contravene FRES 6 or FRES 7.
- 4.7.7 The site is well screened on its northern and eastern boundaries by mature trees and hedgerow.
- 4.7.8 It is proposed to retain these and to protect them during construction [if planning is granted].
- 4.7.9 It is vital to retain these natural features because they will provide excellent screening of the development from the open countryside to the north and are important habitats and a key part of the local green corridor network that enables wildlife to move about without having to break cover.



figure14: **Strong natural edges to the site**

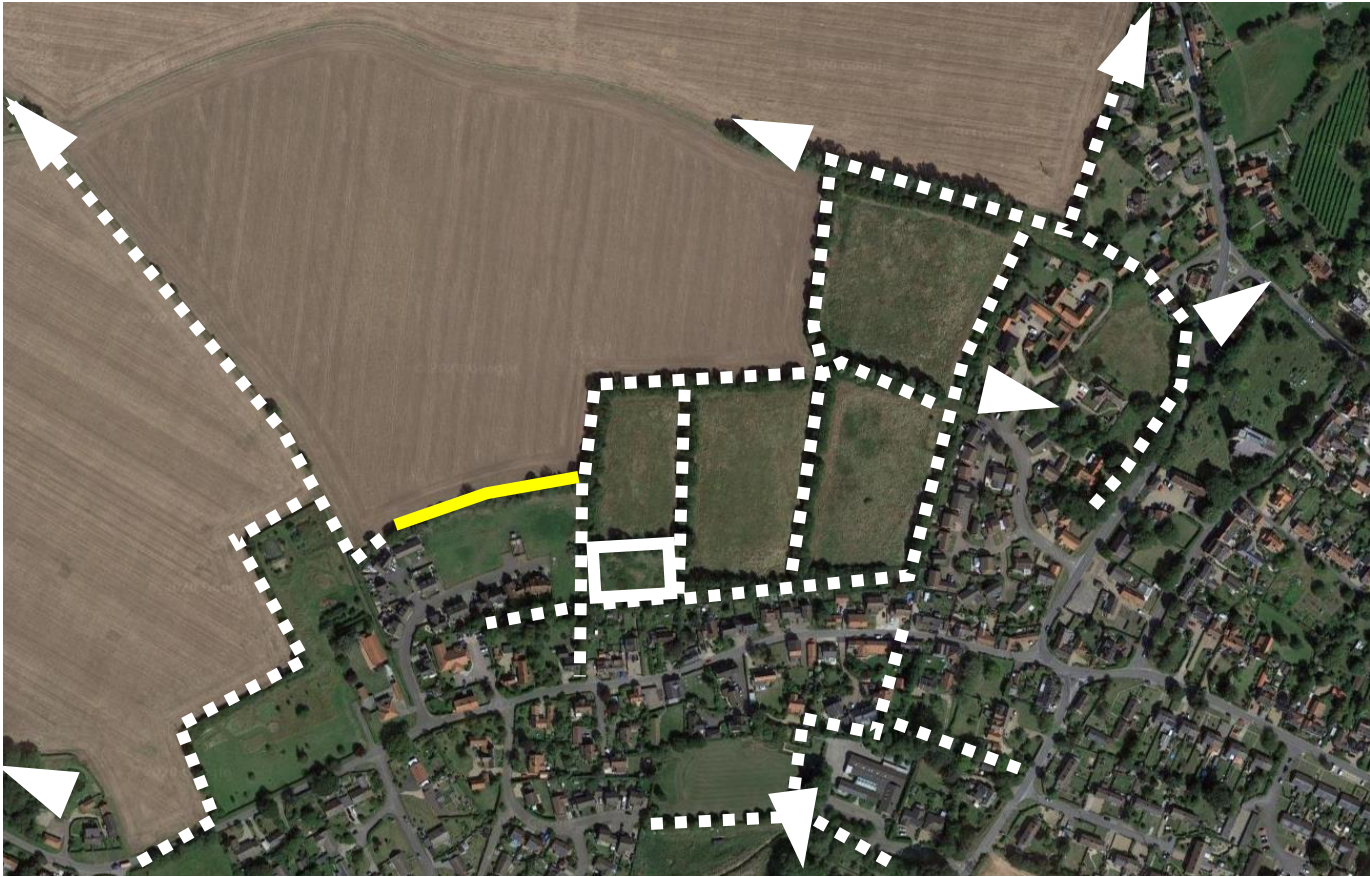


figure15: **the natural network of green corridors**

4.8 Offered wildlife area

- 4.8.1 Included in the proposal is an offer to create a wildlife area within the land edged blue.
- 4.8.2 Such an offer if secured by S106 in perpetuity would have two main benefits:
1. It would ensure that the field in question is never developed for housing [or other built development] which would provide comfort that the present 18 dwelling proposal if approved doesn't represent a stalking horse with expanded proposals coming up on its heels. This would also safeguard the setting of the Grade II listed Ladymeade
 2. It would ensure that the site is allowed remain untouched [save for agreed management] so that in the fulness of time it becomes a valuable wildlife resource and habitat and helps create a green corridor with the landscape beyond.
- 4.8.3 The offer did include dedication of the land [transfer] to the Parish Council or another body with a commuted sum for its maintenance but the Parish Council's opposition to the proposal has meant that there is no firm interest to take up this offer. Consequently, it is proposed that the land owner manages the site in perpetuity as a wildlife/nature area in accordance with a management plan to be agreed. Whilst this means local people do not have the final say on how the site is managed and will lack ownership to control future activity the S106 should safeguard the site from further built development.
- 4.8.4 Originally the site was going to be freely available to the public but after discussion it was considered appropriate to exclude public access to ensure as little disturbance to wildlife as possible and to safeguard the amenity and security of adjoining occupiers. This does not necessarily prevent the management plan from permitting occasional open days and perhaps the site could be available for curriculum field trips by children at the local primary school.
- 4.8.5 It is however considered appropriate to include a cascade clause in the S106 that would require the land to be offered to the Parish Council in the first instance after which if declined it becomes the land owners responsibility to manage in line with the management plan.
- 4.8.6 This would then allow the Parish Council a further chance to acquire the land for £1 if after reflection and having seen the permission granted [if that is what happens] they see a public benefit in taking up the offer. They would be under no obligation to do so.
- 4.8.7 The applicant has already submitted a preliminary wildlife management plan and masterplan and this would be worked up further to provide the overall basis for future management of the site within the recommended S106 Agreement.



figure16: the offer of a wildlife area

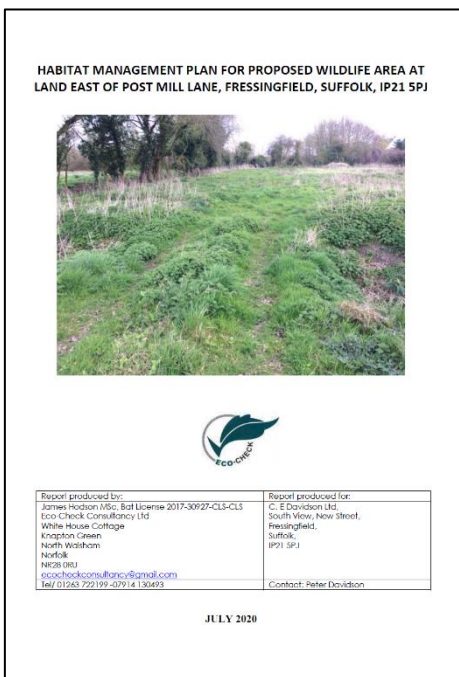


figure17: Preliminary management plan



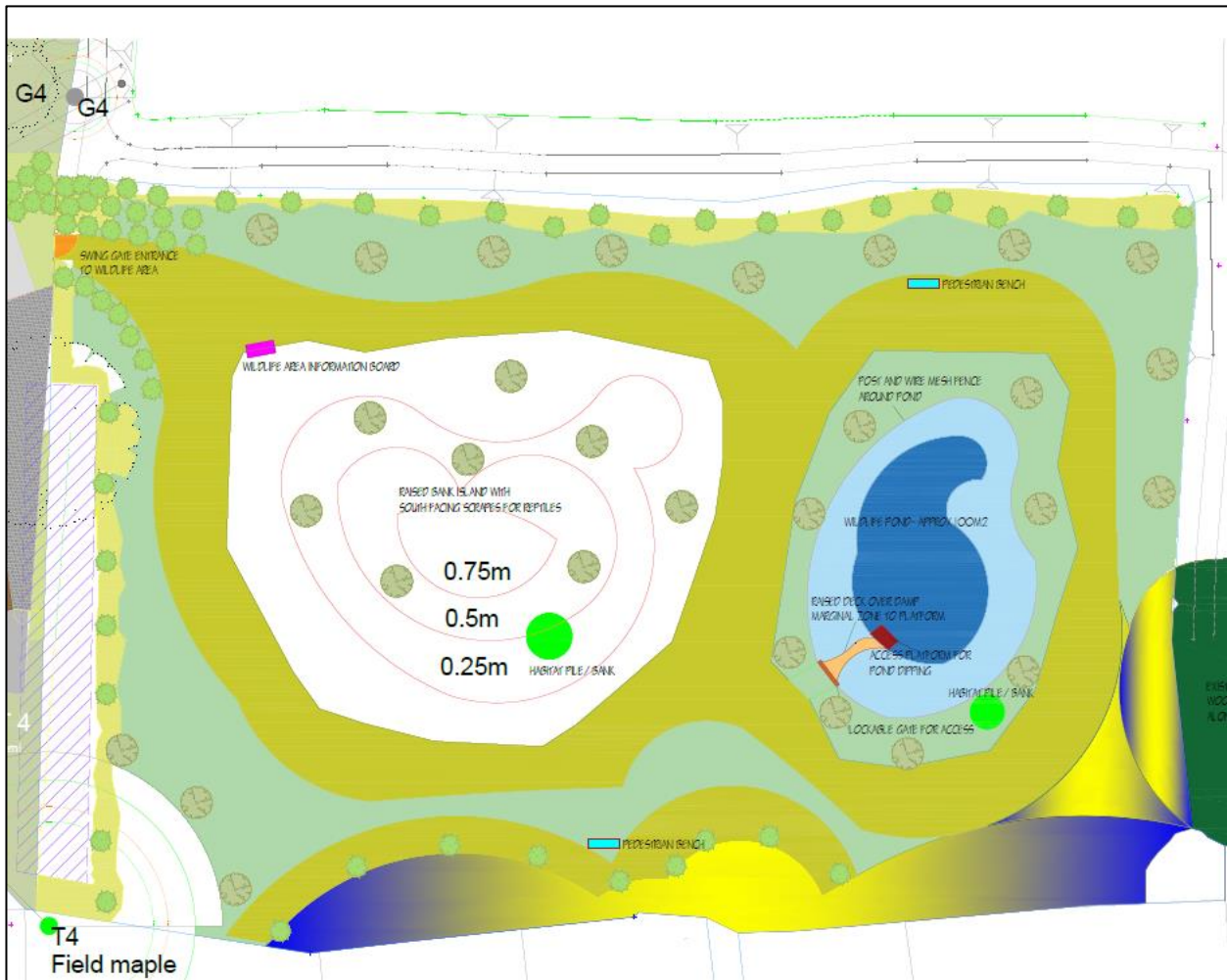


figure18: Preliminary wildlife area masterplan

3.5 The effect of the proposed development on highway and pedestrian safety in the vicinity and floodrisk.

3.5.1 In his deliberations in respect of the issue of pedestrian safety in New Street and at Jubilee Corner at the time of the previous proposal/appeal the Inspector stated:

“28. Whilst I acknowledge concerns from the Council and local residents on this matter, the Council accepts that there is a low incidence of reported accidents in this area. Furthermore, there is little substantive evidence before me to demonstrate that the proposal would result in pedestrian and highway safety concerns.”

....and,

Issue 4

Whether the proposed development would exacerbate the existing flooding and pollution in the village during periods of heavy rainfall.

3.5.2 In his conclusions on this issue the Inspector stated:

“30. The Council and residents have raised objections to the proposal stating that the proposed development would exacerbate the existing flooding and pollution problem in the village as a result of adding further foul water to the existing system which already floods during periods of heavy rainfall. However, Anglian Water, raises no objections to the proposal subject to a condition requiring compliance with the agreed drainage strategy. This response from the relevant drainage authority confirms that the development would not cause harm to the capacity of the sewer system, and I have no reason to take a different view from their professional advice.”

“31. As such, I find that the proposed development would not exacerbate the existing flooding and pollution problem in the village during periods of heavy rainfall. In this respect, the proposal would not conflict with paragraphs 163 and 180 of the Framework which amongst other things, seeks to ensure that flood risk is not increased elsewhere and that new development is appropriate for its location taking into account the likely effects (including cumulative effects) of pollution on health, living conditions and the natural environment, as well as the potential sensitivity of the site or the wider area to impacts that could arise from the development.”

3.5.3 It is noted that in an email of 5 November 2020 the Suffolk County Council Floods & Water Team updated their advice stating:

*“The following submitted documents have been reviewed and we recommend a **maintaining a holding objection** at this time:*

- *Site Location Plan 3325-TD-LW-XX-DRG-AR-1004-A*
- *Site Indicative Site Plan 3325-TD-LW-XX-DRG-AR-1003-A*

- *Further Additional information requested by Lead Local Flood Authority in respect of application 1648/17/OUT*
- *Flood Risk Assessment and Surface Water and Foul Water Drainage Strategy Ref 21647a Rev 0*
- *Flood Risk Assessment and Surface Water and Foul Water Drainage Strategy Ref 21647a Addendum*
- *Suds Viability Options Review dated August 2020*

The reason why we are recommending a maintaining a holding objection is because whilst the applicant has answer most of the points highlight by the LLFA, one point from the January 2020 consultation reply have not been addressed.

1. Resubmit the drainage strategy to include reference to the Drinking Water Safeguard Zones (Surface Water) that covers the parish.”

- 3.5.4 The areas of concern have now reduced to the one technical matter that is being addressed and the resubmitted drainage strategy document will address the Drinking Water Safeguard Zone matter.
- 3.5.5 On this basis the SuDS authority is expected to lift its holding objection as there are no fundamental issues remaining with developing a suitable strategy that is appropriate an outline proposal stage. A verbal update will be provided to Committee.
- 3.5.6 Whilst the concerns of the Parish Council, S.A.F.E. and local residents in respect of the issues that arise in Fressingfield as a result of surface water frequently being channelled into the foul water system the drainage strategy that has evolved through discussion is likely to be accepted by the SuDS authority. At the appeal referred to earlier the Planning Inspector did not support the Council’s drainage case for refusing the earlier 25 dwelling proposal on Post Mill Lane. It is therefore considered unreasonable to mount a similar objection.
- 3.5.7 It is acknowledged that at times of high rain fall some manholes on Low Road ‘pop’ and a mixture of surface water and diluted sewage flood into the road and the Beck.
- 3.5.8 Anglian Water as the foul water authority as before raises no objection, indeed they repeat that:
- “ The foul drainage from this development is in the catchment of Weybread Water Recycling Centre that will have available capacity for these flows.”*
- “The sewerage system at present has available capacity for these flows.”*
- 3.5.9 At the time of commenting it was noted that AW stated:

“The development site is within 15m of a sewage pumping station. This asset requires maintenance and will have sewerage infrastructure leading to it. For practical reasons therefore it cannot be easily relocated.

Anglian Water consider that dwellings located within 15m of the pumping station would place them at risk of nuisance in the form of noise, odour or the general disruption from maintenance work caused by normal operation of the pumping station.”

3.5.10 As a result of the receipt of this comment the layout was amended to ensure that the illustrative layout did not have homes encroaching into the 15m distance referred to.



figure19: Amended layout with dwellings set back beyond a 15m pumping station

3.5.11 The AFNDP20 at policy FRES9 deals specifically with localised flooding when it states:

“ Development within Hinterland and Hamlet Villages will be permitted within settlement boundaries where:

- I. Design is sympathetic to its rural surrounding and demonstrates high-quality design by having regard to the relevant policies of the plan;
- II. A high standard of hard and soft landscaping, appropriate for the location is used;
- III. Hedgerows and treelines which make an important contribution to the wider context and setting are protected, particularly in edge of settlement locations; and
- IV. The cumulative impact of proposals will be a major consideration.”

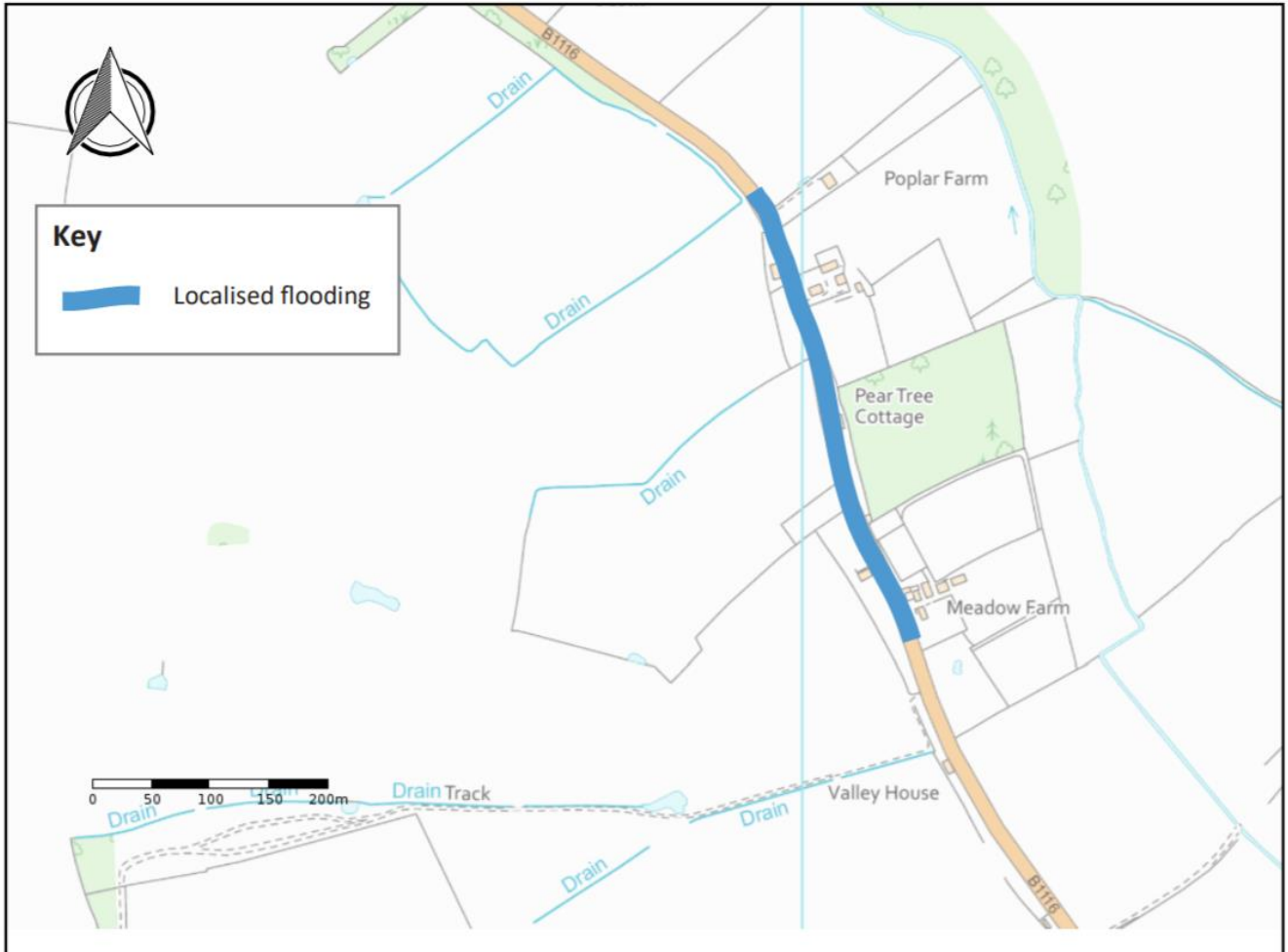


figure20: **Plan 6.4b Areas of Localised Flooding from AFNDP20**

3.5.12 The proposed drainage solution is a hybrid SuDS scheme but planning officers were reluctant to require swales across the development as this would have eaten in play areas/open space or the wildlife area

3.6 Sustainability

- 3.6.1 Whilst Fressingfield is poorly served by public transport which does not make it particularly sustainable from an access and transportation point of view it is increasingly common for Inspectors to acknowledge that rural areas are increasingly facing cuts to public transport and that new technology is helping to fill the gap. So for example Inspectors are being to refer to home delivery by Supermarkets, Amazon and other retailers as a viable and sustainable alternative for such trips – as is click and collect.
- 3.6.2 Fressingfield has a decent local shop, a primary school, churches, GP and a good community network and sports and recreational facilities. It appears to have a flourishing social life [certainly pre-covid].
- 3.6.3 Like other rural villages settlements residents do have to travel further afield to larger centres for some activities and that affords the chance of multiple activities during the same visit which can be sustainable and is encouraged. [combined trips].
- 3.6.4 The Inspector in the case of the previous appeal believed the location to be sustainable.
- “..the development would contribute towards the vitality of rural communities.”*
- 3.6.5 It immediately adjoins a recent estate development on the edge of the settlement boundary and is not isolated.
- 3.6.6 It makes good provision for new biodiversity and a wildlife area and retains existing hedgerows. From an ecological and environmental perspective it is sustainable.
- 3.6.7 It will introduce a modest increase in population and additional demand on existing facilities can be addressed largely through CIL.
- 3.6.8 From an economic perspective it will increase the potential for local spend, will help to sustain local facilities [including the primary school], will help to support local services and social activities and will create a number of short-term construction jobs.
- 3.6.9 It will also deliver 6 much needed affordable homes – a priority for the Council

3.7 Cumulative Impact

- 3.7.1 As with the previous proposal at the time of its determination there are two other outline planning applications under consideration. On this occasion the other two applications are not in a state to be presented to committee as negotiation is ongoing. The determination of this application has the potential to affect the determination of those proposals.
- 3.7.2 Previously the Committee was being asked to consider a total of 208 new dwellings between three sites that included Post Mill Lane.
- 3.7.3 Presently the combined total between the same three sites is 66. Without making any judgement on the merits of the other applications it is a matter of fact that the total is 68%

fewer dwellings than previously. The cumulative impact is therefore likely to be less than before in terms of highway impact, drainage impact and so on.

3.7.4 The question for the Committee is therefore will that difference be material and will considering all three applications together represent a reasonable way to proceed as requested by S.A.F.E?

3.7.5 In this case the post Mill Lane development comprising 18 dwellings has generated no substantive objection from key statutory consultees. The previous Inspector accepted that development of the western end of the previous site was in principle acceptable. The site has been reduced to be contained within the western end. Heritage objections are no longer offered as the amended layout avoids conflict with Ladymeade.

3.7.6 In the circumstances it is unreasonable to delay consideration of the Post Mill application pending negotiations on the other two sites. They too will be judged on their merits.

3.8 S106

- Affordable housing
- Provision of suitably equipped [play] open space with an appropriate maintenance sum to be agreed
- Delivery of the proposed wildlife area prior to the development commencing in line with a management plan and masterplan to be agreed at the time of submitting Reserved Matters
- Payment of a £10,000 sum to Suffolk County Council as local highway authority to process the appropriate Traffic Regulation Order to secure the desired 20 mph speed limit in New Street
- Payment of £14,400 sum to Suffolk County Council as education authority towards school transportation

PART FOUR – PLANNING BALANCE & CONCLUSION

4.0 Planning Balance

- 4.1.1 This application poses a number of challenging complexities that must be given due consideration and must be ascribed weight in exercising the overall balance against a backdrop of strong local opposition including from the Parish Council, S.A.F.E and a significant number of local residents.
- 4.1.2 There is also a recent history [which is relevant] of refusing significant residential proposals in Fressingfield and an Appeal which was won by the Council. This has all been seen as creating a strong precedent for resisting this proposal as before.
- 4.1.3 It needs to be acknowledged that whilst the Council won the previous Post Mill Lane appeal [24 dwellings] the Inspector's decision did not expressly preclude development in the way it examined, rehearsed and concluded on the various reasons for refusal.
- 4.1.4 He certainly accepted that in a number of ways the proposal was contrary to Development Plan policies [the AFNDP20 had not been adopted at the time and carried little weight] but he only found one substantive area where harm could be properly demonstrated such as to warrant dismissal of the appeal and refusal of the application. That was on heritage grounds.
- 4.1.5 The current application is contrary to FRES1 of the AFNDP20 in that it is outside of the settlement boundary and is not allocated for housing. This this must be given significant weight as a material planning consideration. Further, and related to that breach, the application fails to comply with the development plan as a whole.
- 4.1.6 It should however be noted that FRES1 refers to the criteria in paragraph 79 of the NPPF as being potential exceptions but does not recognise that paragraph 79 applies to isolated proposals. This site is not isolated. That too needs to be given significant weight. It is in fact a sustainable location as recognised by the Inspector where talking about the merits of development on the western end of the previous appeal site. Related to that, the application is considered to accord with the policies of the NPPF both as a whole but also noting its treatment of rural housing and housing in the countryside.
- 4.1.7 Whilst the AFNP20 has a requirement for some dwellings through windfall sites the application at 18 dwellings is not unreasonably beyond that total.
- 4.1.8 It is noted that despite the incredulity of the Parish Council, S.A.F.E and local residents the local highway authority is raising no objection to the proposal. As the relevant statutory consultee and advisers to the District Council on highway matters this needs to be given significant weight. Previously the LHA objected to the Post Mill Lane development [24 units] but the lack of support for highway grounds at the previous appeal by the Inspector now means repeated objection is unreasonable as the situation and circumstances have not materially changed.

- 4.1.9 Also despite local disbelief the relevant drainage bodies have not raised objection and the layout has been revised to accommodate the spatial requirements of Anglian water in respect of a cordon around the existing pumping station. Despite well-rehearsed arguments about the unacceptability of the flooding that occurs in Fressingfield the previous Inspector did not find there was a drainage case sufficient to warrant dismissal of the appeal. That unfortunately must remain the case.
- 4.1.10 This is development outside of the settlement boundary for Fressingfield [Proposals Map local plan 1998] within the countryside but the land in question is not farmed and clearly reads as informal open space adjacent to Phase 1 of the Post Mill Lane development. Indeed the site is well screened from the countryside by mature trees and hedgerow and therefore cannot be said to harm the character of then open space. This therefore should only be given low weight.
- 4.1.11 The inclusion of a new wildlife area in the field behind Ladymeade is a benefit that will ensure the land remains undeveloped and is allowed to provide a biodiverse habitat for wildlife is something that should be given at least moderate weight because at least it protects the setting of Ladymeade.
- 4.1.12 In view of the fact that parts of the Adopted Local Plan and Core Strategy are now out-of-date [and the relevant AFNDP20 policies are largely complied with save for issues around The robustness of FRES1] regard needs to be given to the NPPF and the tilted balance.
- 4.1.13 The proposal is considered to contain some important public benefits that include:
- Delivery of 6 much needed affordable dwellings of which 4 will be rented
 - Delivery of family housing in line with the AFNDP20 and the revised layout now includes a bungalow which would be suitable for older people. [AFNDP20]. 1 bungalow represents 5.5% of the proposed total and this is above the informal target of 3% used by officers as guidance in negotiations until such time as new policy is agreed.
 - All units will meet NDSS
 - Provision of new formal open space
 - Provision of a dedicated wildlife area in perpetuity that will protect the setting of Ladymeade from future development pressure
 - Short-term construction jobs
 - An uplift in local spend arising from a modest population increase

- Added support for local facilities such as the primary school with the emphasis family dwellings
- Additional CIL receipts including 25% for the Parish Council as a result of having an Adopted Neighbourhood Development Plan

4.1.14 Against this is balanced no material harm which can adequately demonstrated by any relevant statutory consultee.

4.1.15 The public benefits are therefore considered to decisively outweigh any harm. The balance triggered by paragraph 196 of the NPPD is no longer relevant to this case as the Heritage Team now believes the proposal will cause NO HARM to Ladymeade.

4.1.16 In this particular case the applicant has taken the previous appeal decision and carefully revised the layout and reduced the number of proposed dwellings to overcome the concerns that prompted the previous appeal Inspector to dismiss the appeal. In many ways the applicant has used the appeal decision to provide a street map for ensuring the latest application is robust and capable of being approved or at the very least successful in the case of an appeal against refusal

4.1.17 Members are reminded that issue 1 identified by the previous Inspector was:

“Whether the site would be an appropriate location for residential development having regard to the development plan and national planning policies and the character and appearance of the area” [paragraph 8, page 2]

4.1.18 He noted that CS1 and CS2 continued to carry limited weight before going on to say:

“Paragraph 78 of the Framework states that housing should be located where it will enhance or maintain the vitality of rural communities....The development would contribute towards the vitality of rural communities. I give these benefits some weight” [paragraph 13, page3]

4.1.19 Importantly referring to the western part of the site [the current application state] he stated:

“...I find the principle of development on this part of the site would not harm the character of the countryside...”

4.2 Conclusion

4.2.1 The proposal is acceptable for the reasons set out subject to an appropriate S106 and conditions. While the development fails to comply with the development plan as a whole, other material planning considerations indicate that planning permission should be granted, and that direction is considered to outweigh the direction of the plan.

5.0 RECOMMENDATION

That authority be delegated to the Chief Planning Officer to **GRANT outline planning permission** for the proposed development

(1) Subject to the prior agreement of a Section 106 Planning Obligation on appropriate terms to the satisfaction of the Chief Planning Officer to secure:

- Affordable housing

This shall include

- Rented 6 dwellings
 - Shared ownership 2 dwellings
 - Properties shall be built to current Housing Standards Technical requirements March 2015 Level 1. All ground floor 1 bed flats to be fitted with level access showers, not baths.
 - The council is granted 100% nomination rights to all the affordable units on initial lets and 75% on subsequent lets
 - All affordable units to be transferred freehold to one of the Councils preferred Registered providers.
 - Adequate parking provision is made for the affordable housing units including cycle storage for all units.
-
- Provision of suitably equipped [play] open space with an appropriate maintenance sum to be agreed
 - Delivery of the proposed wildlife area prior to the development commencing in line with a management plan and masterplan to be agreed at the time of submitting Reserved Matters
 - Payment of a £10,000 sum to Suffolk County Council as local highway authority to process the appropriate Traffic Regulation Order to secure the desired 20 mph speed limit in New Street

- Standard time limit (Reserved/ Matters to be submitted within 18 months and commencement within 18 months from date of approval of the Reserved Matters)
- submitted revised layout plan to form the basis of Reserved Matters [all matters including drainage and materials]
- Phasing Condition (To allow phasing of the development and allows spreading of payments under CIL)
- Removal of PD
- Drainage conditions as required by SCC Floods & Water
- Highway conditions as required by LHA
- Tree protection measures to be agreed prior to any work on site commencing
- Market housing mix prior to or concurrent with reserved matters to be agreed
- Energy and renewal integration scheme to be agreed
- Rainwater harvesting to be agreed
- Construction Method Statement to be agreed. [incl detail of any piling required]
- parking to meet the Adopted Suffolk Parking Standards [refreshed 2019]
- Ev charging to every plot
- Unexpected contamination reporting condition [EHO]
- Archaeological conditions

(3) That in the event of the Planning obligations or requirements referred to in Resolution (1) above not being secured and/or not secured within 6 months [or such other extended period considered appropriate by the Chief Planning Officer to secure the completion of the document where there is clear goodwill to so and adequate progress has already been made] that the Chief Planning Officer be authorised to refuse the application on appropriate ground/s as the S106 elements are required to make the development acceptable by mitigating impacts.

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Application No: DC /19/05956

Location: Post Mill Lane, Fressingfield

		Page No.
Appendix 1: Call In Request	<i>none</i>	
Appendix 2: Details of Previous Decision	<i>REFUSAL of a 24 dwelling proposal that was dismissed at appeal 1648/16</i>	
Appendix 3: Town/Parish Council/s	<i>Fressingfield</i>	
Appendix 4: National Consultee Responses	<i>Natural England</i>	
Appendix 5: County Council Responses	<i>Highways Floods & Water Developer Contributions Fire & Rescue Archaeology</i>	
Appendix 6: Internal Consultee Responses	<i>Heritage Strategic Housing EHO land contamination Ecology place Communities Public Realm</i>	
Appendix 7: Any other consultee responses	<i>S.A.F.E Supporters Against Fressingfield Expansion Suffolk Preservation Society Anglian water</i>	



Babergh and Mid Suffolk District Councils



Appendix 8: Application Site Location Plan	Yes	
Appendix 9: Application Plans and Docs	Yes	
Appendix 10: Further information	<i>Wildlife Area Management plan</i> <i>Wildlife area masterplan</i>	

The attached appendices have been checked by the case officer as correct and agreed to be presented to the committee.



Consultee Comments for Planning Application DC/19/05956

Application Summary

Application Number: DC/19/05956

Address: Land Off Postmill Lane, Fressingfield

Proposal: Outline planning application (all matters reserved) - Erection of up to 18No dwellings and associated new roads, infrastructure and open space.

Case Officer: Vincent Pearce

Consultee Details

Name: Mr Andy Parris

Address: The Stooks, New Street, Fressingfield Eye, Suffolk IP21 5PG

Email: clerk.fresspc@gmail.com

On Behalf Of: Fressingfield Parish Clerk

Comments

Fressingfield Parish Council recommends refusal of this application.

This is a truncated version of an application made in 2017 (1648/17) which the district council refused. The planning inspectorate dismissed an appeal. This application removes from that original application 6 houses which would have been built behind Ladymeade Cottage, a Grade II listed building.

In his assessment, the inspector confirmed that the existent LDP (1998), the Core Strategy (2008) and the Core Strategy Focused Review (2012) do carry weight when making decisions. This is in part due to their resonance with the NPPF.

Using these documents, the inspector concluded that the site in that application was not suitable for new housing. He felt that it conflicted with CS1 and CS2 (Core Strategy and CS Focused Review) and that it did not meet the aims of para 170 of the NPPF, in terms of recognising the intrinsic character and beauty of the countryside.

The site for this proposed development (DC/19/05956) is within the boundaries of that previous application. The site is outside the settlement boundary but does not meet the requirements of paragraph 79 of the NPPF 2019.

At the time of his assessment, the inspector did not feel that Fressingfields Neighbourhood Development Plan was sufficiently advanced to affect his judgements. However, it has now been assessed by an external examiner, had a few minor modifications and will go to a village referendum in late January/early February. Therefore, it should be given material consideration even though at the time of writing this comment, it does not carry statutory weight.

The section of the NDP on housing states that 60 homes could be built during the lifetime of the plan to support its vision of Fressingfield being a good place to live with a welcoming, friendly and cohesive community. It will be a village with a robust and sustainable infrastructure.

The NDP anticipates that the 60 will be made up of homes already given planning permission (51); small windfall sites, not yet identified, within the settlement boundary; and conversions and new development opportunities outside the settlement boundary in accordance with paragraph 79 of the NPPF 2019

60 is 7% more than the minimum figure in BMSDCs draft Local Plan in which Fressingfield is designated a hinterland village.

When the district council considered the previous application, councillors were appalled to hear of how raw sewage would periodically overflow from Fressingfields sewerage system into the street and a local watercourse. This problem has still not been solved: it is getting worse. Steady or heavy rain seems to be the catalyst. (Details are in the SAFE response.) A working group and closer connections with Anglian Water, Suffolk Highways and Suffolk Flood Management have been established.

However, the full causes of the problem, which is a health hazard and a 21st century disgrace, have not yet been identified. Only when that is done can solutions be designed and implemented. Any proposals that try to avoid exacerbating the problem are currently based on incomplete knowledge of the causes. Fressingfield Parish Council believes that only when these problems have been solved should new housing applications be seriously considered.

Put simply, it is not right to expect residents to live in an expanding village where the content of their loo ends up in the street and the local watercourse.

Other key points from the councils planning committee meeting:

The traffic survey submitted with this application was conducted in February which is not a month representative of traffic flow in a village surrounded by agricultural land.

The pedestrian route assessment document makes several subjective judgements about the flow of traffic (low levels of traffic, very light traffic, very light traffic flow). This is based on making an average of a days count over 24 hours which seems unreasonable. Obviously, there will periods of the day/night when there is almost no traffic.

Using these judgement-laden descriptions imply that pedestrians can safely walk along this narrow street (between 4m and 5m wide). This not the case.

The level of traffic flow should be compared to similar situations i.e. hinterland villages.

The route assessments were made according to AWARs guidance which takes no account of the personal safety of children travelling alone and it is presumed that all road users will behave reasonably and responsibly.

The fact that there are no reported road traffic injuries would appear to confirm New Street is a safe route to walk. However, even with current levels of traffic and even when most vehicles

respect the speed limit, it is a threatening journey for most pedestrians. AWARs guidance for assessing pedestrian routes takes no account of the emotional harm caused by a 300m walk on a 4/5m wide street with no pathways and being faced by cars, lorries, tractors with trailers, vans and motorbikes travelling in both directions.

In its report to the district council at the last application (1648/17), Suffolk Highways confirmed that accidents did not need to have occurred to identify a route as dangerous, but ... that weight should be given to observed conflicts between pedestrians and vehicles... (NPPF para 110)

Although measures were proposed to mitigate the dangers likely to occur with an increase in vehicular and pedestrian traffic on routes at the core of the village, the report stated, The measures proposed are the best solution available within the existing constraints (but) they fall short of making the highway safe for pedestrians.

Steve Merry, Transport Policy and Development Manager Growth, Highways and Infrastructure concluded, It is the Highway Authorities opinion that further traffic passing along New Street and/or through Jubilee Corner would result in an unacceptable impact on highway safety particularly for vulnerable pedestrians.

There are no public transport links to and from the village.

The claim that 18 houses is a modest number ignores the fact that it effectively doubles the size of the estate.

The only entrance to this estate is close to the busy entrance to the medical centre. The pedestrian access to the medical centre is already difficult due to the lack of footpaths.

Planning permission already exists for 51 houses in the village.

If permission is granted for this new development, it would mean that planning permission had been given to 23% more than the minimum required in BMSDC draft Local Plan.

There are 2 other development applications currently on the table. These would add a further 48 homes to the village. The figure of 117 (51+18+48) is more than double that in the draft Local Plan. The plan has another 16 years to run.

As permission has been granted for 51 houses already the medium-term sustainability of the school is not an issue.

Benefits would accrue to the parish via a CIL allocation.

Speed restriction plans for New Street would be welcome.

Your ref: DC/19/05956/OUT
Our ref: Fressingfield, Land Off Post Mill
Lane IP21 5PJ. Matter No: 60009
Date: 3 January 2020
Enquiries to: Ruby Shepperson
Tel: 01473 265063
Email: ruby.shepperson@suffolk.gov.uk



By e-mail only:

planningyellow@babberghmidsuffolk.gov.uk

Dear Sian,

Fressingfield: Land Off Post Mill Lane, IP21 5PJ.

I refer to the proposal: Outline Planning Application (all matters reserved) – Erection of up to 18No dwellings and associated new roads, infrastructure and open space. (8No 2 bed, 8No 3 bed and 2No 4 bed houses).

I set out below Suffolk County Council's position, which provides our infrastructure requirements associated with the development proposed.

Summary of infrastructure requirements:

CIL	Education	Capital Contribution
	- Primary	£82,980.00
	- Secondary	£68,214.00
	- Sixth form	£22,738.00
CIL	Libraries improvements	£3,888.00
CIL	Waste	£918.00
S106	Education	
	- Secondary school transport	£14,400.00
S106	Highways	tbc
Total Contribution: £193,138.00		

This letter sets out the infrastructure requirements which arise, most of which will be covered by the district's CIL funding apart a school transport contribution to be secured by S106.

Paragraph 56 of the National Planning Policy Framework (NPPF) 2018 sets out the requirements of planning obligations, which are that they must be:

- a) Necessary to make the development acceptable in planning terms;
- b) Directly related to the development; and,
- c) Fairly and reasonably related in scale and kind to the development.

The County and District Councils have a shared approach to calculating infrastructure needs, in the adopted [Section 106 Developers Guide to Infrastructure Contributions in Suffolk](#).

Mid Suffolk District Council adopted their Core Strategy in September 2008 and Focused Review in December 2012. The Core Strategy includes the following objectives and policies relevant to providing infrastructure:

- Objective 6 seeks to ensure provision of adequate infrastructure to support new development; this is implemented through Policy CS6: Services and Infrastructure.
- Policy FC1 and FC1.1 apply the presumption in favour of sustainable development in Mid Suffolk.

Community Infrastructure Levy

Mid Suffolk District Council adopted a CIL Charging Schedule On 21st January 2016 and started charging CIL on planning permissions granted from 11th April 2016.

New CIL Regulations were laid before Parliament on 4 June 2019. These Regulations (Community Infrastructure Levy (Amendment) (England) (No. 2) Regulations 2019) came into force on 1 September 2019 (“the commencement date”). Regulation 11 removes regulation 123 (pooling restriction and the CIL 123 List in respect of ‘relevant infrastructure’).

Site specific mitigation will be covered by a planning obligation and/or planning conditions.

The details of specific contribution requirements related to the proposed scheme are set out below:

- 1. Education.** Paragraph 94 of the NPPF states: ‘It is important that a sufficient choice of school places is available to meet the needs of existing and new communities. Local planning authorities should take a proactive, positive and collaborative approach to meeting this requirement, and to development that will widen choice in education. They should:
 - a) give great weight to the need to create, expand or alter schools through the preparation of plans and decisions on applications; and
 - b) work with schools promoters, delivery partners and statutory bodies to identify and resolve key planning issues before applications are submitted.’

Furthermore, the NPPF at paragraph 104 states: ‘Planning policies should:

- a) support an appropriate mix of uses across an area, and within larger scale sites, to minimise the number and length of journeys needed for employment, shopping, leisure, education and other activities;’

The Department for Education (DfE) publication ‘Securing developer contributions for education’ (April 2019), which should be read in conjunction with the Planning Practice Guidance (PPG) advice on planning obligations

[revised September 2019]. Paragraph 19 of the DfE guidance states, “We advise local authorities with education responsibilities to work jointly with relevant local planning authorities as plans are prepared and planning applications determined, to ensure that all education needs are properly addressed, including both temporary and permanent education needs where relevant, such as school transport costs and temporary school provision before a permanent new school opens within a development site”.

In paragraph 15 of the DfE guidance ‘Securing developer contributions for education’ it says, “We advise that you base the assumed cost of mainstream school places on national average costs published annually in the DfE school place scorecards. This allows you to differentiate between the average per pupil costs of a new school, permanent expansion or temporary expansion, ensuring developer contributions are fairly and reasonably related in scale and kind to the development. You should adjust the national average to reflect the costs in your region, using BCIS location factors”.

The most recent scorecard is 2018 and the national average school expansion build cost per pupil for primary schools is £16,596. The most recent (March 2019) BCIS location factor for the East of England, which includes Suffolk, is 100. When applied to the national expansion build cost (£16,596 x 1.00) produces a total of £16,596 per pupil for permanent expansion of primary schools.

The most recent scorecard is 2018 and the national average school expansion build cost per pupil for secondary schools is £22,738. The most recent (March 2019) BCIS location factor for the East of England, which includes Suffolk, is 100. When applied to the national expansion build cost (£22,738 x 1.00) produces a total of £22,738 per pupil for permanent expansion of secondary schools. The DfE guidance in paragraph 16 says, “further education places provided within secondary school sixth forms will cost broadly the same as a secondary school place”.

School level	Minimum pupil yield:	Required:	Cost per place £ (2016/17):
Primary school age range, 5-11:	5	5	£16,596
High school age range, 11-16:	3	3	£22,738
Sixth school age range, 16+:	1	1	£22,738

Total education CIL contributions:	£173,932.00
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The local catchment schools are Fressingfield Church of England Primary School, Stradbroke High School and Thomas Mills High School.

The proposal will increase the demand for extra capacity, in order to meet anticipated future needs arising from both latent population and housing growth.

The catchment primary school is Fressingfield. Due to this proposal, local plans, and potential approvals the school is expected to exceed capacity. On this basis, a CIL contribution of (5 pupils x £16,596) = £82,980 is sought to improve and enhance provision.

The catchment secondary school is Stradbroke High School. The forecast pupil numbers for Stradbroke High School are expected to increase annually and, in time, exceed capacity due to Local Plans and other potential approvals. On this basis, a CIL contribution of (3 pupils x £22,738) = £68,214 is sought to improve and enhance provision. Land for future expansion is proposed through the emerging Joint Local Plan, under reference LA083.

Thomas Mills High School is the catchment sixth form. It is unable to accommodate potential over-surplus from Stradbroke High School as it is currently exceeding capacity, with no surplus places available for the 1 pupil arising from the development. The forecast shows this situation to worsen in future years, thus overspill from the Stradbroke into Thomas Mills is unsustainable and a CIL contribution of (1 pupil x £22,738) = £22,738 is sought for expansion to the current site.

- a) **School transport contribution** – 3 secondary-age pupils are forecast to arise from the proposed development. Developer s.106 contributions are sought to fund school transport provision for a minimum of five years for secondary-age pupils. Annual school transport cost per pupil is £960. Therefore, contribution is £960 x 3 pupils x 5 years = £14,400 increased by RPI.

School transport S106 contribution:	£14,400.00
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2. **Pre-school provision.** Provision for early years should be considered as part of addressing the requirements of the NPPF Section 8: 'Promoting healthy and safe communities'

The Childcare Act 2006 places a range of duties on local authorities regarding the provision of sufficient, sustainable and flexible childcare that is responsive to parents' needs. Local authorities are required to take a lead role in facilitating the childcare market within the broader framework of shaping children's services in partnership with the private, voluntary and independent sector. Section 7 of the Act sets out a duty to secure funded early years provision of the equivalent of 15 hours funded education per week for 38 weeks of the year for children from the term after their third birthday until they are of compulsory school age. The

Education Act 2011 places a statutory duty on local authorities to ensure the provision of early education for every disadvantaged 2-year-old the equivalent of 15 hours funded education per week for 38 weeks. The Childcare Act 2016 places a duty on local authorities to secure the equivalent of 30 hours funded childcare for 38 weeks of the year for qualifying children from September 2017 – this entitlement only applies to 3 and 4 years old of working parents.

This matter is in the Fressingfield Ward where there is a surplus of FTEs. This proposal will generate an additional 2 FTEs, but no contribution is sought.

3. Play space provision. This should be considered as part of addressing the requirements of the NPPF Section 8: 'Promoting healthy and safe communities.' A further key document is the 'Quality in Play' document fifth edition published in 2016 by Play England.

4. Transport issues. Refer to the NPPF Section 9 'Promoting sustainable transport'. A comprehensive assessment of highways and transport issues will be required as part of a planning application. This will include travel plan, pedestrian and cycle provision, public transport, rights of way, air quality and highway provision (both on-site and off-site). Requirements will be dealt with via planning conditions and Section 106 agreements as appropriate, and infrastructure delivered to adoptable standards via Section 38 and Section 278.

Suffolk County Council, in its role as a local Highway Authority, has worked with the local planning authorities to develop county-wide technical guidance on parking which replaces the preceding Suffolk Advisory Parking Standards (2002) in light of new national policy and local research. It has been subject to public consultation and was adopted by Suffolk County Council in November 2014 (updated 2019).

Suffolk County Council FAO Sam Harvey will coordinate a response.

5. Libraries. Refer to the NPPF Section 8: 'Promoting healthy and safe communities'.

The libraries and archive infrastructure provision topic paper sets out the detailed approach to how contributions are calculated. A CIL contribution of £216 per dwelling is sought i.e. £3,888 which will be spent on improving services and outreach at Stradbroke Library. A minimum standard of 30 square metres of new library space per 1,000 populations is required. Construction and initial fit out cost of £3,000 per square metre for libraries (based on RICS Building Cost Information Service data but excluding land costs). This gives a cost of (3 x £3,000) = £90,000 per 1,000 people or £90 per person for library space. Assumes average of 2.4 persons per dwelling.

Libraries CIL contribution:	£3,888.00
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6. Waste. All local planning authorities should have regard to both the Waste

Management Plan for England and the National Planning Policy for Waste when discharging their responsibilities to the extent that they are appropriate to waste management. The Waste Management Plan for England sets out the Government's ambition to work towards a more sustainable and efficient approach to resource use and management.

Paragraph 8 of the National Planning Policy for Waste states that when determining planning applications for non-waste development, local planning authorities should, to the extent appropriate to their responsibilities, ensure that:

- *New, non-waste development makes sufficient provision for waste management and promotes good design to secure the integration of waste management facilities with the rest of the development and, in less developed areas, with the local landscape. This includes providing adequate storage facilities at residential premises, for example by ensuring that there is sufficient and discrete provision for bins, to facilitate a high quality, comprehensive and frequent household collection service.*

SCC requests that waste bins and garden composting bins should be provided before occupation of each dwelling and this will be secured by way of a planning condition. SCC would also encourage the installation of water butts connected to gutter down-pipes to harvest rainwater for use by occupants in their gardens.

A future CIL funding bid of £918 (£51 per dwelling) will be made to improve Leiston Recycling Centre facilities serving the proposed development.

Waste CIL Contribution:	£918.00
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- 7. Supported Housing.** Section 5 of the NPPF seeks to deliver a wide choice of high quality homes. Supported Housing provision, including Extra Care/Very Sheltered Housing providing accommodation for those in need of care, including the elderly and people with learning disabilities, needs to be considered in accordance with paragraphs 61 to 64 of the NPPF.

Following the replacement of the Lifetime Homes standard, designing homes to Building Regulations Part M 'Category M4(2)' standard offers a useful way of meeting this requirement, with a proportion of dwellings being built to 'Category M4(3)' standard. In addition, we would expect a proportion of the housing and/or land use to be allocated for housing with care for older people e.g. Care Home and/or specialised housing needs, based on further discussion with the LPAs housing team to identify local housing needs.

- 8. Sustainable Drainage Systems.** SCC, as Lead Local Flood Authority, responded on 2 January 2020, see comments by Jason Skilton.
- 9. Fire Service.** Any fire hydrant issues will need to be covered by appropriate planning conditions. SCC would strongly recommend the installation of automatic

fire sprinklers. The Suffolk Fire and Rescue Service requests that early consideration is given during the design stage of the development for both access for fire vehicles and the provisions of water for firefighting which will allow SCC to make final consultations at the planning stage.

10. Superfast broadband. This should be considered as part of the requirements of the NPPF Section 10 'Supporting high quality communication'. SCC would recommend that all development is equipped with high speed broadband (fibre optic). This facilitates home working which has associated benefits for the transport network and also contributes to social inclusion; it also impacts educational attainment and social wellbeing, as well as improving property prices and saleability.

As a minimum, access line speeds should be greater than 30Mbps, using a fibre based broadband solution, rather than exchange-based ADSL, ADSL2+ or exchange only connections. The strong recommendation from SCC is that a full fibre provision should be made, bringing fibre cables to each premise within the development (FTTP/FTTH). This will provide a network infrastructure which is fit for the future and will enable faster broadband.

11. Legal costs. SCC will require an undertaking for the reimbursement of its own legal costs, whether or not the matter proceeds to completion.

12. Monitoring Fee. The new CIL Regs allow for charging of monitoring fees. In this respect the county council charges £412 for each trigger point in a planning obligation, payable upon commencement.

13. Time Limits. The above information is time-limited for 6 months only from the date of this letter.

This development will mitigate its impact by contributing via both s106 and CIL as per the summary table on page 1. Site-specific matters identified by SCC services directly will also need to be secured by way of a planning obligation or planning conditions.

I would be grateful if the above information can be provided to the decision-taker in respect of this planning application and infrastructure mitigation reported fully in the committee report.

Yours sincerely,

Ruby Shepperson
Planning Officer
Growth, Highways & Infrastructure Directorate – Strategic Development

cc Carol Barber, Suffolk CC
Jason Skilton, Suffolk CC
Sam Harvey, Suffolk CC

10 January 2020

Mr Vincent Pearce
Senior Planning Officer
Mid Suffolk District Council
Endeavour House, 8 Russell Rd,
Ipswich, IP1 2BX

Dear Mr Pearce,

**Planning application ref: DC/19/05956 Outline planning application (all matters reserved) -
Erection of up to 18No dwellings and associated new roads, infrastructure and open space.**

Land off Post Mill Lane, Fressingfield

I am writing on behalf of the Suffolk Preservation Society (SPS) to object the above outline planning application for the erection of up to 18 dwellings on a greenfield site on the western edge of the village. This is a revised application DC/17/01648 for 24 dwellings with associated infrastructure which was refused in November 2018 and later dismissed at appeal. SPS objected to the previous application due to the unsustainable location, the disproportionate scale of the development (taken together with other large scale housing schemes) and the impact on the setting of heritage assets.

We note the reasons for refusal and Inspector's decision with regard to the setting of Ladymeade Cottage, a grade II listed building. We welcome the revised proposals and acknowledge that they have had regard to the comments made by both council officers and the Planning Inspector in respect of heritage assets. However we are disappointed that there are now no affordable units included which limits the public benefit provided by the scheme. Notwithstanding the reduction in the scale of the proposed development and the revised layout the SPS continues to object on the following grounds.

Firstly, the emerging Joint Local Plan Preferred Options (July 2019) downgrades Fressingfield from a Primary to a Hinterland Village requiring a lesser quantum of development, recognising that it is fundamentally an unsustainable location which does not enjoy a high level of services or facilities necessary to support a substantial increase in housing growth. Accordingly the evolving policy position in the Joint Local Plan Preferred Options (July 2019) shows a minimum housing requirement for Fressingfield of 56 dwellings over the plan period.

Secondly, Mid Suffolk, as of 3.09.19 (Mid Suffolk District Council Housing Land Supply Position Statement 2019/20 – 2023/24) asserts that the council can demonstrate a 5 year housing

land supply. Therefore, the “tilted balance” presumption in favour of sustainable development does not apply and applications should be determined according to the development plan.

Finally, the Fressingfield Neighbourhood Plan (FNP) is at an advanced stage, having been through Examination and is about to go to Referendum in the coming weeks (January 2020). The FNP policy FNP1 allows for 60 dwellings, 51 of which have already been consented. The FNP does not allocate this site for development. The Examiner in her report, at paragraph 53 having considered the proposed site allocations stated that *“I do not consider it necessary for inclusion of additional sites”*. The Neighbourhood Plan has been carefully considered and independently assessed. The views of the parish have been clearly made. Therefore, the policies within the plan must be given considerable weight in the consideration of this case.

Conclusion

In summary, SPS welcomes the reduction in the scale of development to address the harm caused by the development to the setting of Ladymeade Cottage and acknowledges the contribution made by the proposal to housing need generally and the public benefit of no.6 affordable units. However, we remain concerned that the proposal remains disproportionate, relative to the level of growth allocated and planned for in the emerging Neighbourhood Plan. If this proposal were to be approved it would prejudice the policy making process by undermining the plan-led approach. Secondly, granting planning permission would undermine community confidence in the plan making process after successful Examination but in advance of a Referendum on that Plan.

The community, through the neighbourhood plan process, has clearly rejected this site for development whilst setting out alternative sites that are capable of contributing towards the housing need in the district. SPS considers that to approve this application would seriously undermine the neighbourhood planning process and we therefore urge that the proposals are yet again refused.

We trust that you will find these comments helpful in the consideration of this application.

Yours sincerely,

Fiona Cairns RTPI IHBC
Director

Cc: Fressingfield Parish Council
Phil Butler, SPS Mid Suffolk District
David Burn, Portfolio Holder, Planning
John Castro, Chair SAFE

From: RM Floods Planning <floods.planning@suffolk.gov.uk>
Sent: 02 January 2020 07:52
To: BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>
Cc: Sian Bunbury <Sian.Bunbury@babberghmidsuffolk.gov.uk>
Subject: 2020-01-02 JS Reply Land Off Postmill Lane, Fressingfield Ref DC/19/05956

Dear Sian Bunbury,

Subject: Land Off Postmill Lane, Fressingfield Ref DC/19/05956

Suffolk County Council, Flood and Water Management have reviewed application ref DC/19/05965

The following submitted document[s] have been reviewed and we recommend a **holding objection** at this time:

- Site Location Plan 3325-TD-LW-XX-DRG-AR-1004-A
- Site Indicative Site Plan 3325-TD-LW-XX-DRG-AR-1003-A
- Addendum A to Flood Risk Assessment, Surface and Foul Water Drainage ref SVH/MJH/21647
- Further Additional information requested by Lead Local Flood Authority in respect of application 1648/17/OUT

The reason why we are recommending a holding objection is because the applicant has not submitted a site specific flood risk assessment or a strategy for the disposal of surface water in line with current national and local policy/guidance.

The points below detail the action required in order to overcome our current objection:-

1. Submit a updated site specific flood risk assessment
2. Submit a strategy for the disposal of surface water in line with national and local policy and guidance

Kind Regards

Jason Skilton
Flood & Water Engineer
Flood & Water Management
Growth, Highways & Infrastructure

Suffolk County Council | Endeavour House, 8 Russell Road, Ipswich, Suffolk, IP1 2BX
T: 01473 260411 | <https://www.suffolk.gov.uk/planning-waste-and-environment/flooding-and-drainage/>

BMSDC Planning Area Team Yellow

Subject: 2020-01-14 JS reply Land Off Postmill Lane, Fressingfield, Ref DC/19/05956

From: RM Floods Planning <floods.planning@suffolk.gov.uk>

Sent: 14 January 2020 09:23

To: BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

Cc: Sian Bunbury <Sian.Bunbury@babberghmidsuffolk.gov.uk>

Subject: 2020-01-14 JS reply Land Off Postmill Lane, Fressingfield, Ref DC/19/05956

Dear Sian Bunbury,

Subject: Land Off Postmill Lane, Fressingfield, Ref DC/19/05956

Suffolk County Council, Flood and Water Management have reviewed application ref DC/19/05965.

The following submitted documents have been reviewed and we recommend a **holding objection** at this time:

- Site Location Plan 3325-TD-LW-XX-DRG-AR-1004-A
- Site Indicative Site Plan 3325-TD-LW-XX-DRG-AR-1003-A
- Further Additional information requested by Lead Local Flood Authority in respect of application 1648/17/OUT
- Flood Risk Assessment and Surface Water and Foul Water Drainage Strategy Ref 21647a Rev 0

The reason why we are recommending a holding objection is because whilst the applicant has evulated the predicted surface water flood risk, they have not referenced the historical flooding that effects the parish, which is both surface water and foul water flooding. They applicant has provided a viable method for the disposal of surface water. However, the applicant is looking to utilise a hybrid SuDs system that does not meet the requirement of national and local policy/guidance.

1. Resubmit the flood risk assessment referencing historical flooding of both surface water and foul water within the parish
2. Resubmit the drainage strategy to include reference to the Drinking Water Safeguard Zones (Surface Water) that covers the parish
3. Resubmit the drainage strategy to include reference a indicative layout that shall include a full above ground SuDs system rather than a hybrid system. You shall also demonstrating that there is sufficient space on the site based on Suffolk CC design standards
 - a. unless there is clear evidence that this would be inappropriate
4. Resubmit the drainage strategy to include only one discharge point for the surface water discharge rate no greater than Q_{bar} or 2l/s/ha
5. Resubmit the drainage strategy to include at least two surface water treatment stages as Fressingfield is within a Drinking Water Safeguard Zones (Surface Water)

Kind Regards

Jason Skilton
Flood & Water Engineer
Flood & Water Management
Growth, Highways & Infrastructure

Suffolk County Council | Endeavour House, 8 Russell Road, Ipswich, Suffolk, IP1 2BX

T: 01473 260411 | <https://www.suffolk.gov.uk/planning-waste-and-environment/flooding-and-drainage/>

Appendix A to the Suffolk Flood Risk Management Strategy has been updated! If you're involved in the planning, design and construction of new developments this may be of interest to you. You will be expected to comply with this new local guidance. More information can be found here; <https://www.suffolk.gov.uk/roads-and-transport/flooding-and-drainage/guidance-on-development-and-flood-risk/>

-----Original Message-----

From: planningyellow@baberghmidsuffolk.gov.uk <planningyellow@baberghmidsuffolk.gov.uk>

Sent: 08 January 2020 10:17

To: RM Floods Planning <floods.planning@suffolk.gov.uk>

Subject: MSDC Planning Re-consultation Request - DC/19/05956

Please find attached planning re-consultation request letter relating to planning application - DC/19/05956 - Land Off Postmill Lane, Fressingfield, , ,

Kind Regards

Planning Support Team

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For more information on how we do this and your rights in regards to your personal information and how to access it, visit our website.

From: Nathan Pittam <Nathan.Pittam@baberghmidsuffolk.gov.uk>
Sent: 14 January 2020 12:44
To: Sian Bunbury <Sian.Bunbury@baberghmidsuffolk.gov.uk>
Cc: BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>
Subject: DC/19/05956. Land Contamination.

Dear Sian

EP Reference : 270827
DC/19/05956. Land Contamination.
Land at, Post Mill Lane, Fressingfield, EYE, Suffolk.
Outline planning application (all matters reserved) - Erection of up to 18No dwellings and associated new roads, infrastructure and open space.

Many thanks for your request for comments in relation to the above application. Having reviewed the application I can confirm that I have no objection to the proposed development from the perspective of land contamination. I would only request that the LPA are contacted in the event of unexpected ground conditions being encountered during construction and that the below minimum precautions are undertaken until such time as the LPA responds to the notification. I would also advise that the developer is made aware that the responsibility for the safe development of the site lies with them.

Kind regards

Nathan

Nathan Pittam BSc. (Hons.) PhD
Senior Environmental Management Officer

Babergh and Mid Suffolk District Councils – Working Together

Email: Nathan.pittam@baberghmidsuffolk.gov.uk
Work: 07769 566988 / 01449 724715
websites: www.babergh.gov.uk www.midsuffolk.gov.uk



Minimum requirements for dealing with unexpected ground conditions being encountered during construction.

1. *All site works at the position of the suspected contamination will stop and the Local Planning Authority and Environmental Health Department will be notified as a matter of urgency.*
2. *A suitably trained geo-environmental engineer should assess the visual and olfactory observations of the ground and the extent of contamination and the Client and the Local Authority should be informed of the discovery.*
3. *The suspected contaminated material will be investigated and tested appropriately in accordance with assessed risks. The investigation works will be carried out in the presence of a suitably qualified geo-environmental engineer. The investigation works will involve the collection of solid samples for testing and, using visual and olfactory observations of the ground, delineate the area over which contaminated materials are present.*
4. *The unexpected contaminated material will either be left in situ or be stockpiled (except if suspected to be asbestos) whilst testing is carried out and suitable assessments completed to determine whether the material can be re-used on site or requires disposal as appropriate.*
5. *The testing suite will be determined by the independent geo-environmental specialist based on visual and olfactory observations.*
6. *Test results will be compared against current assessment criteria suitable for the future use of the area of the site affected.*
7. *Where the material is left in situ awaiting results, it will either be reburied or covered with plastic sheeting.*
8. *Where the potentially contaminated material is to be temporarily stockpiled, it will be placed either on a prepared surface of clay, or on 2000-gauge Visqueen sheeting (or other impermeable surface) and covered to prevent dust and odour emissions.*
9. *Any areas where unexpected visual or olfactory ground contamination is identified will be surveyed and testing results incorporated into a Verification Report.*
10. *A photographic record will be made of relevant observations.*
11. *The results of the investigation and testing of any suspect unexpected contamination will be used to determine the relevant actions. After consultation with the Local Authority, materials should either be: • re-used in areas where test results indicate that it meets compliance targets so it can be re-used without treatment; or • treatment of material on site to meet compliance targets so it can be re-used; or • removal from site to a suitably licensed landfill or permitted treatment facility.*
12. *A Verification Report will be produced for the work.*

All planning enquiries should be sent to the Local Planning Authority.

Email: planning@babberghmidsuffolk.gov.uk

The Planning Department
MidSuffolk District Council
Planning Section
1st Floor, Endeavour House
8 Russell Road
Ipswich
Suffolk
IP1 2BX

For the attention of: Sian Bunbury

Dear Sian

TOWN AND COUNTRY PLANNING ACT 1990
CONSULTATION RETURN: DC/19/05956

PROPOSAL: Outline planning application (all matters reserved) - Erection of up to 18No dwellings and associated new roads, infrastructure and open space.

LOCATION: Land Off Postmill Lane, Fressingfield

Notice is hereby given that the County Council as Highway Authority make the following comments:

The previous application for this site was reviewed with 2 other sites within Fressingfield to consider the cumulative impacts from all three developments on the highway. It was considered that the developments proposals would cumulatively give rise to a number of significant road safety concerns which taken in the round, add up to a severe impact in road safety terms:

- The footway network in the core of the village, where most pedestrian trips would need to pass to access the key services in the village, are below acceptable width standards, resulting in pedestrians needing to walk in the road to pass obstructions and opposing pedestrians.
- Some pedestrian crossing points have poor visibility and while traffic speeds are generally quite low, the increase in traffic flow resulting from the cumulative impact of developments in the village, would give rise to an unacceptable increase in risk of conflicts, as some of these would have the potential to result in injury collisions.

In recent appeal for the site, the inspector determined the proposal would not have a harmful effect on highway and pedestrian safety within the village. The report acknowledged the concerns raised with regard to pedestrian safety, however, with low number in accidents in the area, it was considered there is little substantive evidence to demonstrate that the proposal would result in pedestrian and highway safety concerns.

We have reviewed the documentation supplied with this application, the summary of our findings are as follows:

- The estimated total vehicle trips for this application in the AM peak hour is 11 vehicles (average 1 vehicle every 5 minutes) therefore the additional vehicles from the development will not have a severe impact on the surrounding road and junctions.
- There is one slight and injury accident recorded on Laxfield Road/New Street junction.

- There is not a footway linking the site to the centre of the village but there is a footway to Priory Walk which links the back of primary school. The applicant is proposing footway improvements which includes a dropped crossing point at Priory Walk junction.
- This application is proposing a 20mph zone on New Street.

Taking all the above into account, it is our opinion that this development would not have a severe impact (NPPF para 109) therefore we do not object to the proposal.

NOTE - Prior to determination, a speed survey will be required to determine the average speed (20mph zones are only considered if they mean speeds are below 24mph). Also, a traffic and pedestrian survey will be required.

CONDITIONS

Should the Planning Authority be minded to grant planning approval the Highway Authority in Suffolk would recommend they include the following conditions and obligations:

HW 2 - Condition: Before any dwelling is first occupied, the developer shall deliver the footway and highway improvements on New Street in accordance with the approved details except with the written agreement of the Local Planning Authority.

ER 1 - Condition: Prior to commencement of any works, (save for site clearance and technical investigations) details of the estate roads and footpaths, (including layout, levels, gradients, surfacing and means of surface water drainage), shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that roads/footways are constructed to an acceptable standard.

ER 2 - Condition: No dwelling shall be occupied until the carriageways and footways serving that dwelling have been constructed to at least Binder course level or better in accordance with the approved details except with the written agreement of the Local Planning Authority in consultation with Local Highway Authority.

Reason: To ensure that satisfactory access is provided for the safety of residents and the public.

P 2 - Condition: Before the development is commenced details of the areas to be provided for the [LOADING, UNLOADING,] manoeuvring and parking of vehicles including electric vehicle charging units and secure cycle storage shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter and used for no other purpose.

Reason: To enable vehicles to enter and exit the public highway in forward gear in the interests of highway safety.

B 2 - Condition: Before the development is commenced details of the areas to be provided for storage and presentation of Refuse/Recycling bins shall be submitted to and approved in writing by the Local Planning Authority.

The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter for no other purpose.

Reason: To ensure that refuse recycling bins are not stored on the highway causing obstruction and dangers for other users.

HGV CONSTRUCTION - Condition: Before the development hereby permitted is commenced a Construction Management Plan shall have been submitted to and approved in writing by the Local Planning Authority. Construction of the development shall not be carried out other than in accordance with the approved plan. The Construction Management Plan shall include the following matters:

- haul routes for construction traffic on the highway network and monitoring and review mechanisms.
- provision of boundary hoarding and lighting
- details of proposed means of dust suppression
- details of measures to prevent mud from vehicles leaving the site during construction
- details of deliveries times to the site during construction phase
- details of provision to ensure pedestrian and cycle safety
- programme of works (including measures for traffic management and operating hours)

- parking and turning for vehicles of site personnel, operatives and visitors
- loading and unloading of plant and materials
- storage of plant and materials
- maintain a register of complaints and record of actions taken to deal with such complaints at the site office as specified in the Plan throughout the period of occupation of the site.

Reason: In the interest of highway safety to avoid the hazard caused by mud on the highway and to ensure minimal adverse impact on the public highway during the construction phase.

NOTES

The Local Planning Authority recommends that developers of housing estates should enter into formal agreement with the Highway Authority under Section 38 of the Highways Act 1980 relating to the construction and subsequent adoption of Estate Roads.

The works within the public highway will be required to be designed and constructed in accordance with the County Council's specification. The applicant will also be required to enter into a legal agreement under the provisions of Section 278 of the Highways Act 1980 relating to the construction and subsequent adoption of the highway improvements. Amongst other things the Agreement will cover the specification of the highway works, safety audit procedures, construction and supervision and inspection of the works, bonding arrangements, indemnity of the County Council regarding noise insulation and land compensation claims, commuted sums, and changes to the existing street lighting and signing.

Yours sincerely,

Samantha Harvey

Senior Development Management Engineer

Growth, Highways and Infrastructure



09 January 2020

Sian Bunbury
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich IP1 2BX

By email only

Thank you for requesting advice on this application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.

Application: DC/19/05956
Location: Land Off Postmill Lane, Fressingfield
Proposal: Outline planning application (all matters reserved) - Erection of up to 18No dwellings and associated new roads, infrastructure and open space.

Dear Sian,

Thank you for consulting Place Services on the above application.

No objection subject to securing biodiversity mitigation and enhancement measures

Summary

We have reviewed the Preliminary Ecological Appraisal and Impact Assessment (Eco Check Consultancy Ltd, October 2019), The Non-Licensed Great Crested Newt Mitigation Method Statement (Eco Check Consultancy Ltd, November 2017) and Reptile Survey (Eco Check Consultancy Ltd, May 2017) relating to the likely impacts of development on designated sites, Protected Species and Priority Species & Habitats.

We are satisfied that there is sufficient ecological information available for determination. This provides certainty for the LPA of the likely impacts on protected and Priority species & habitats and, with appropriate mitigation measures secured, the development can be made acceptable.

The mitigation measures identified in the Preliminary Ecological Appraisal and Impact Assessment (Eco Check Consultancy Ltd, October 2019), The Non-Licensed Great Crested Newt Mitigation Method Statement (Eco Check Consultancy Ltd, November 2017) and Reptile Survey (Eco Check Consultancy Ltd, May 2017) should be secured and implemented in full, via the provision of a Construction Environmental Management Plan – Biodiversity. This is necessary to conserve and enhance protected and Priority Species.



In addition, we recommended that a Wildlife Sensitive Lighting Scheme should be secured, as a condition of any consent, to avoid impacts to potential roosting, foraging and commuting bats. This should follow the [Guidance Note 8 Bats and artificial lighting](#) (The Institute of Lighting Professionals & Bat Conservation Trust, 2018) and should follow the recommendations within the Preliminary Ecological Appraisal and Impact Assessment. This must demonstrate that provision of warm-white LED lights, which should be a minimum of <3000k. This is necessary as lighting which emits an ultraviolet component or that have a blue spectral content will impact some bat species directly, as well as having a high attraction effects on insects, which may lead in a reduction in prey availability to light sensitive bat species.

We also support the proposed reasonable biodiversity enhancements, which have been recommended to secure measurable net gains for biodiversity, as outlined under Paragraph 170d of the National Planning Policy Framework 2019. The reasonable biodiversity enhancement measures should be outlined within a Biodiversity Enhancement Strategy and should be secured as a condition of any consent, prior to slab level.

This will enable LPA to demonstrate its compliance with its statutory duties including its biodiversity duty under s40 NERC Act 2006.

Impacts will be minimised such that the proposal is acceptable subject to the conditions below based on BS42020:2013.

Submission for approval and implementation of the details below should be a condition of any planning consent.

Recommended conditions:

1. PRIOR TO COMMENCEMENT: CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN

“A construction environmental management plan (CEMP: Biodiversity) shall be submitted to and approved in writing by the local planning authority, following the details provided within the Preliminary Ecological Appraisal and Impact Assessment (Eco Check Consultancy Ltd, October 2019), The Non-Licensed Great Crested Newt Mitigation Method Statement (Eco Check Consultancy Ltd, November 2017) and Reptile Survey (Eco Check Consultancy Ltd, May 2017).

The CEMP (Biodiversity) shall include the following.

- a) Risk assessment of potentially damaging construction activities.*
- b) Identification of “biodiversity protection zones”.*
- c) Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction (may be provided as a set of method statements).*
- d) The location and timing of sensitive works to avoid harm to biodiversity features.*
- e) The times during construction when specialist ecologists need to be present on site to oversee works.*
- f) Responsible persons and lines of communication.*
- g) The role and responsibilities on site of an ecological clerk of works (ECoW) or similarly competent person.*



h) *Use of protective fences, exclusion barriers and warning signs.*

i)

The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the local planning authority"

Reason: To conserve Protected and Priority species and allow the LPA to discharge its duties under the UK Habitats Regulations 2017, the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species).

2. PRIOR TO SLAB LEVEL: BIODIVERSITY ENHANCEMENT STRATEGY

"A Biodiversity Enhancement Strategy for Protected and Priority species shall be submitted to and approved in writing by the local planning authority.

The content of the Biodiversity Enhancement Strategy shall include the following:

- a) Purpose and conservation objectives for the proposed enhancement measures;*
- b) detailed designs to achieve stated objectives;*
- c) locations of proposed enhancement measures by appropriate maps and plans;*
- d) persons responsible for implementing the enhancement measures;*
- e) details of initial aftercare and long-term maintenance (where relevant).*

The works shall be implemented in accordance with the approved details and shall be retained in that manner thereafter."

Reason: To enhance Protected and Priority Species/habitats and allow the LPA to discharge its duties under the s40 of the NERC Act 2006 (Priority habitats & species).

3. PRIOR TO OCCUPATION: WILDLIFE SENSITIVE LIGHTING DESIGN SCHEME

"A lighting design scheme for biodiversity shall be submitted to and approved in writing by the local planning authority. The scheme shall identify those features on site that are particularly sensitive for bats and that are likely to cause disturbance along important routes used for foraging; and show how and where external lighting will be installed (through the provision of appropriate lighting contour plans, Isolux drawings and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent bats using their territory.

All external lighting shall be installed in accordance with the specifications and locations set out in the scheme and maintained thereafter in accordance with the scheme. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority."

Reason: To allow the LPA to discharge its duties under the UK Habitats Regulations 2017, the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species)



Please contact us with any queries.

Yours sincerely,

Hamish Jackson GradCIEEM BSc (Hons)

Ecological Consultant

Hamish.Jackson@essex.gov.uk

Place Services provide ecological advice on behalf of Mid Suffolk District Council

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.

MID SUFFOLK DISTRICT COUNCIL

TO: Sian Bunbury – Planning Officer

From: Julie Abbey-Taylor

Date: 06.01.2020

SUBJECT: DC/19/05956

Location: Land at Postmill Lane, Fressingfield.

Proposal: Proposal – Outline Planning Application- all matters reserved for residential development and associated roads, infrastructure, and open space. Site size is 0.9 ha proposed layout for 18 dwellings.

Consultation Response on Affordable Housing Requirement

Key Points

1. Background Information

- Previous Outline Planning Permission sought for 24 dwellings, refused by MSDC and appeal dismissed in 2019.
- Triggers the obligation under policy H4 for affordable housing and the council will be seeking 35% of the total provision of housing which is for 6 affordable dwellings.

2. Housing Need Information:

2.1 The Babergh and Mid Suffolk District Strategic Housing Market Assessment confirms a continuing need for housing across all tenures and a growing need for affordable housing. The most recent update of the Strategic Housing Market Assessment completed in 2019 confirms **a minimum need of 127 affordable homes per annum for the Mid Suffolk Area.**

2.2 The Council's Choice Based Lettings system currently has circa. **690** applicants registered for the Mid Suffolk area as of October 2019.

2.3 Our 2014 Housing Needs Survey shows that there is a need across all tenures for smaller units of accommodation, which includes accommodation suitable for older people, wishing to downsize from larger privately-owned family housing, into smaller privately-owned apartments, bungalows and houses.

2.4 Open Market Mix: -

- 2 x 2 bed semi-detached houses @ 70.5 sqm
- 1 x 3 bed semi-detached house @ 73.6 sqm
- 1 x 3 bed semi-detached house with garage @ 83.5 sqm
- 3 x 3 bed semi-detached houses @ 84.2 sqm
- 1 x 3 bed detached house with garage @ 102 sqm
- 1 x 3 bed detached house @ 106.6 sqm
- 1 x 4 bed detached house with garage @ 102 sqm
- 1 x 4 bed detached house with garage @ 116 sqm

The mix above equates to 58.3% of the open market homes to be 3 bed houses which compares to 29.3% which the 2019 SHMA recommends as new 3 bed supply within owner occupied tenure.

It would also be appropriate for any open market houses on the site to be designed and developed to meet Building Regs Part M (4) category 2, making these attractive and appropriate for older people.

There is evidence from the 2014 Housing Survey that there is a significant need for smaller homes to be built for first time buyers but also for those older residents seeking to downsize for their last time home. Hence, we would like to see the inclusion of some 2 and 3 bed bungalows or chalet bungalows in the open market offer, in this indicative proposal none are shown as part of the mix which is disappointing.

Other requirements

- **Standard trigger points for the delivery of the affordable housing – this will then be included automatically in the instruction from planning to shared legal services that it needs to be in the S106 agreement as a matter of course.**
 - **(a)** not Occupy or permit Occupation of more than fifty per cent (50%) (rounded up to the nearest whole Dwelling) Market Housing Units in each Phase until fifty per cent (50%) of the Affordable Housing Units for that Phase have been constructed and are ready for Occupation and have been transferred to the Registered Provider; and
 - **(b)** not Occupy or permit Occupation of more than eighty per cent (80%) (rounded up to the nearest whole Dwelling) Market Housing Units in each Phase until all of the Affordable Housing Units for that Phase have been constructed and are ready for Occupation and have been transferred to the Registered Provider
- The council is granted 100% nomination rights to all the affordable units for initial lets and a minimum of 75% on subsequent lets, unless the RP is the Council where 100% nominations will be retained on relets.
 - Adequate parking and secure cycle storage is provided for all affordable homes.
 - The Council will not support a bid for Homes England grant funding on the affordable homes delivered as part of an open market development. Therefore, the affordable units on that part of the site must be delivered grant free.

	<ul style="list-style-type: none">• The location and phasing of the affordable housing units must be agreed with the Council to ensure they are integrated within the proposed development according to current best practice.
	<ul style="list-style-type: none">• It is preferred that the affordable units are transferred to one of Mid Suffolk's partner Registered Providers – please see www.baberghmidsuffolk.gov.uk under Housing and affordable housing for full details. This could include the Council as an RP in its own right.

Julie Abbey-Taylor, Professional Lead – Strategic Housing

BMSDC Planning Area Team Yellow

From: Paul Harrison
Sent: 16 January 2020 16:28
To: Vincent Pearce; BMSDC Planning Area Team Yellow
Subject: DC 19 05956 Fressingfield

Vincent

The application follows refusal of 1648/17 and dismissal at appeal. I advised on that proposal that loss of the immediate relationship of the listed Ladymeade Cottage with its rural surroundings was harmful. The Inspector essentially supported this assessment.

In the present application, the site is reduced by omission of land to the rear of the listed building Ladymeade Cottage. This revision in effect removes development to the rear of Ladymeade, overcoming the harmful impact of the previous scheme. In my view the proposal now poses no harm to the setting or significance of the listed building.

I recommend imposing a condition requiring details of landscaping on any permission so that the site's eastern boundary will present a 'soft' edge of rural character. We would defer to the landscape expert on the details of any scheme put forward.

Please treat this email as the Heritage consultation response.

Paul

Paul Harrison

Heritage and Design Officer

T 01449 724677 | 07798 781360

E paul.harrison@baberghmidsuffolk.gov.uk

E heritage@baberghmidsuffolk.gov.uk

W www.babergh.gov.uk | www.midsuffolk.gov.uk



Mid Suffolk District Council
Planning Department
Endeavour House
Russell Road
Ipswich
IP1 2BX

Fire Business Support Team
Floor 3, Block 2
Endeavour House
8 Russell Road
Ipswich, Suffolk
IP1 2BX

Your Ref:
Our Ref: FS/F180893
Enquiries to: Water Officer
Direct Line: 01473 260588
E-mail: Fire.BusinessSupport@suffolk.gov.uk
Web Address: <http://www.suffolk.gov.uk>

Date: 09/01/2020

Dear Sirs

Land off Post Mill Lane, Fressingfield IP21 5PJ
Planning Application No: DC/19/05956/OUT
Hydrants are required for this development
(see our required conditions)

I refer to the above application.

The plans have been inspected by the Water Officer who has the following comments to make.

Access and Fire Fighting Facilities

Access to buildings for fire appliances and firefighters must meet with the requirements specified in Building Regulations Approved Document B, (Fire Safety), 2006 Edition, incorporating 2010 and 2013 amendments Volume 1 - Part B5, Section 11 dwelling houses, and, similarly, Volume 2, Part B5, Sections 16 and 17 in the case of buildings other than dwelling houses. These requirements may be satisfied with other equivalent standards relating to access for fire fighting, in which case those standards should be quoted in correspondence.

Suffolk Fire and Rescue Service also requires a minimum carrying capacity for hard standing for pumping/high reach appliances of 15/26 tonnes, not 12.5 tonnes as detailed in the Building Regulations 2000 Approved Document B, 2006 Edition, incorporating 2010 and 2013 amendments.

Water Supplies

Suffolk Fire and Rescue Service recommends that fire hydrants be installed within this development on a suitable route for laying hose, i.e. avoiding obstructions. However, it is not possible, at this time, to determine the number of fire hydrants required for fire fighting purposes. The requirement will be determined at the water planning stage when site plans have been submitted by the water companies.

Sprinklers Advised

Suffolk Fire and Rescue Service recommends that proper consideration be given to the potential life safety, economic, environmental and social benefits derived from the provision of an automatic fire sprinkler system. (Please see sprinkler information enclosed with this letter).

Consultation should be made with the Water Authorities to determine flow rates in all cases.

Should you need any further advice or information on access and fire fighting facilities, you are advised to contact your local Building Control in the first instance. For further advice and information regarding water supplies, please contact the Water Officer at the above headquarters.

Yours faithfully

Water Officer

Suffolk Fire and Rescue Service

Enc: Hydrant requirement letter

Copy: Fergus.bootman@larondewright.co.uk

Enc: Sprinkler information

Mid Suffolk District Council
Planning Department
Endeavour House
Russell Road
Ipswich
IP1 2BX

Fire Business Support Team
Floor 3, Block 2
Endeavour House
8 Russell Road
Ipswich, Suffolk
IP1 2BX

Your Ref:
Our Ref: ENG/AK
Enquiries to: Mrs A Kempen
Direct Line: 01473 260486
E-mail: Angela.Kempen@suffolk.gov.uk
Web Address: www.suffolk.gov.uk

Date: 9 January 2019

Planning Ref: DC/19/05956/OUT

Dear Sirs

RE: PROVISION OF WATER FOR FIRE FIGHTING
ADDRESS: Land off Post Mill Lane, Fressingfield IP21 5PJ
DESCRIPTION: 18 Dwellings
HYDRANTS REQUIRED

If the Planning Authority is minded to grant approval, the Fire Authority require adequate provision is made for fire hydrants, by the imposition of a suitable planning condition at the planning application stage.

If the Fire Authority is not consulted at the planning stage, or consulted and the conditions not applied, the Fire Authority will require that fire hydrants be installed retrospectively by the developer if the Planning Authority has not submitted a reason for the non-implementation of the required condition in the first instance.

The planning condition will carry a life term for the said development and the initiating agent/developer applying for planning approval and must be transferred to new ownership through land transfer or sale should this take place.

Fire hydrant provision will be agreed upon when the water authorities submit water plans to the Water Officer for Suffolk Fire and Rescue Service.

Where a planning condition has been imposed, the provision of fire hydrants will be fully funded by the developer and invoiced accordingly by Suffolk County Council.

Until Suffolk Fire and Rescue Service receive confirmation from the water authority that the installation of the fire hydrant has taken place, the planning condition will not be discharged.

Continued/

OFFICIAL

Should you require any further information or assistance I will be pleased to help.

Yours faithfully

Water Officer

Suffolk Fire and Rescue Service

Created: September 2015

Enquiries to: Fire Business Support Team
Tel: 01473 260588
Email: Fire.BusinessSupport@suffolk.gov.uk



Dear Sir/Madam

Suffolk Fire and Rescue Service – Automatic Fire Sprinklers in your Building Development

We understand from local Council planning you are considering undertaking building work.

The purpose of this letter is to encourage you to consider the benefits of installing automatic fire sprinklers in your house or commercial premises.

In the event of a fire in your premises an automatic fire sprinkler system is proven to save lives, help you to recover from the effects of a fire sooner and help get businesses back on their feet faster.

Many different features can be included within building design to enhance safety and security and promote business continuity. Too often consideration to incorporate such features is too late to for them to be easily incorporated into building work.

Dispelling the Myths of Automatic Fire Sprinklers

- Automatic fire sprinklers are relatively inexpensive to install, accounting for approximately 1-3% of the cost of a new build.
- Fire sprinkler heads will only operate in the vicinity of a fire, they do not all operate at once.
- An automatic fire sprinkler head discharges between 40-60 litres of water per minute and will cause considerably less water damage than would be necessary for Firefighters tackling a fully developed fire.
- Statistics show that the likelihood of automatic fire sprinklers activating accidentally is negligible – they operate differently to smoke alarms.

Promoting the Benefits of Automatic Fire Sprinklers

- They detect a fire in its incipient stage – this will potentially save lives in your premises.
- Sprinklers will control if not extinguish a fire reducing building damage.
- Automatic sprinklers protect the environment; reducing water damage and airborne pollution from smoke and toxic fumes.
- They potentially allow design freedoms in building plans, such as increased compartment size and travel distances.
- They may reduce insurance premiums.
- Automatic fire sprinklers enhance Firefighter safety.

- Domestic sprinkler heads are recessed into ceilings and pipe work concealed so you won't even know they're there.
- They support business continuity – insurers report 80% of businesses experiencing a fire will not recover.
- Properly installed and maintained automatic fire sprinklers can provide the safest of environments for you, your family or your employees.
- A desirable safety feature, they may enhance the value of your property and provide an additional sales feature.

The Next Step

Suffolk Fire and Rescue Service is working to make Suffolk a safer place to live. Part of this ambition is as champion for the increased installation of automatic fire sprinklers in commercial and domestic premises.

Any information you require to assist you to decide can be found on the following web pages:

Suffolk Fire and Rescue Service

<http://www.suffolk.gov.uk/emergency-and-rescue/>

Residential Sprinkler Association

<http://www.firesprinklers.info/>

British Automatic Fire Sprinkler Association

<http://www.bafsa.org.uk/>

Fire Protection Association

<http://www.thefpa.co.uk/>

Business Sprinkler Alliance

<http://www.business-sprinkler-alliance.org/>

I hope adopting automatic fire sprinklers in your build can help our aim of making 'Suffolk a safer place to live'.

Yours faithfully

Mark Hardingham
Chief Fire Officer
Suffolk Fire and Rescue Service

Resource Management
Bury Resource Centre
Hollow Road
Bury St Edmunds
Suffolk
IP32 7AY

Philip Isbell
Corporate Manager - Development Manager
Planning Services
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich
Suffolk IP1 2BX

Enquiries to: Gemma Stewart
Direct Line: 01284 741242
Email: Gemma.Stewart@suffolk.gov.uk
Web: <http://www.suffolk.gov.uk>

Our Ref: 2019_05956
Date: 9th January 2020

For the Attention of Vincent Pearce

Dear Mr Isbell

Planning Application DC/19/05956 - Land Off Postmill Lane, Fressingfield: Archaeology

This application lies in an area of archaeological interest recorded in the County Historic Environment Record, with medieval finds located within and adjacent to the proposed development area (FSF 081). The site is also situated to the rear of a street fronted by listed post medieval buildings. As a result, there is potential for the discovery of below-ground heritage assets of archaeological interest at this location and groundworks associated with this proposal will damage or destroy any archaeological deposits that exist.

We have commented on this in recent years. We would recommend that the same archaeological standard condition is placed on the development as was for prior application (1648/17) within the same bounds, that is:

There are no grounds to consider refusal of permission in order to achieve preservation *in situ* of any important heritage assets. However, in accordance with the *National Planning Policy Framework* (Paragraph 199), any permission granted should be the subject of a planning condition to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed.

In this case the following two conditions would be appropriate:

1. No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation which has been submitted to and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording
- b. The programme for post investigation assessment
- c. Provision to be made for analysis of the site investigation and recording
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation
- e. Provision to be made for archive deposition of the analysis and records of the site investigation
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

2. No building shall be occupied until the site investigation and post investigation assessment has been completed, submitted to and approved in writing by the Local Planning Authority, in accordance with the programme set out in the Written Scheme of Investigation approved under Condition 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

REASON:

To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2018).

INFORMATIVE:

The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team.

I would be pleased to offer guidance on the archaeological work required and, in our role as advisor to Mid Suffolk District Council, the Conservation Team of SCC Archaeological Service will, on request of the applicant, provide a specification for the archaeological mitigation. In this case, an archaeological evaluation will be required to establish the potential of the site and decisions on the need for any further investigation (excavation before any groundworks commence and/or monitoring during groundworks) will be made on the basis of the results of the evaluation.

Further details on our advisory services and charges can be found on our website: <http://www.suffolk.gov.uk/archaeology/>

Please do get in touch if there is anything that you would like to discuss or you require any further information.

Yours sincerely,

Gemma Stewart

Senior Archaeological Officer
Conservation Team

BMSDC Planning Area Team Yellow

From: SM-NE-Consultations (NE) <consultations@naturalengland.org.uk>
Sent: 07 January 2020 11:54
To: BMSDC Planning Area Team Yellow
Subject: Consultation DC/19/05956 NE Response

Categories: Katherine

Dear Ms Bunbury,

Application ref: DC/19/05956
Our ref: 304650

Natural England has no comments to make on this application.

Natural England has not assessed this application for impacts on protected species. Natural England has published [Standing Advice](#) which you can use to assess impacts on protected species or you may wish to consult your own ecology services for advice.

Natural England and the Forestry Commission have also published standing advice on [ancient woodland and veteran trees](#) which you can use to assess any impacts on ancient woodland.

The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes. It is for the local planning authority to determine whether or not this application is consistent with national and local policies on the natural environment. Other bodies and individuals may be able to provide information and advice on the environmental value of this site and the impacts of the proposal to assist the decision making process. We advise LPAs to obtain specialist ecological or other environmental advice when determining the environmental impacts of development.

We recommend referring to our SSSI Impact Risk Zones (available on [Magic](#) and as a downloadable [dataset](#)) prior to consultation with Natural England. Further guidance on when to consult Natural England on planning and development proposals is available on gov.uk at <https://www.gov.uk/guidance/local-planning-authorities-get-environmental-advice>

Yours sincerely,
Heather Ivinson

Heather Ivinson
Operations Delivery
Consultations Team
Natural England
Hornbeam House, Electra Way
Crewe, Cheshire, CW1 6GJ
Tel: 0300 060 0475

www.gov.uk/natural-england

We are here to secure a healthy natural environment for people to enjoy, where wildlife is protected and England's traditional landscapes are safeguarded for future generations.

In an effort to reduce Natural England's carbon footprint, I will, wherever possible, avoid travelling to meetings and attend via audio, video or web conferencing.

From: BMSDC Public Realm Consultation Mailbox <consultpublicrealm@baberghmidsuffolk.gov.uk>
Sent: 02 January 2020 15:02
To: BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>
Subject: RE: MSDC Planning Consultation Request - DC/19/05956

Public Realm note that a similar application for this site was refused planning permission in 2018. Should a decision be made to grant permission for this application the Public Realm Team would required that an adequate level of public open space is achieved within this site.

Regards

Dave Hughes
Public Realm Team

Consultee Comments for Planning Application DC/19/05956

Application Summary

Application Number: DC/19/05956

Address: Land Off Postmill Lane, Fressingfield

Proposal: Outline planning application (all matters reserved) - Erection of up to 18No dwellings and associated new roads, infrastructure and open space.

Case Officer: Vincent Pearce

Consultee Details

Name: Mr Tony Bass

Address: Endeavour House, Ipswich IP1 2BX

Email: tony.bass@baberghmidsuffolk.gov.uk

On Behalf Of: Communities (Major Development)

Comments

I concur with Public realms' response on 2/1/20

Planning Applications – Suggested Informative Statements and Conditions Report

If you would like to discuss any of the points in this document please contact us on 03456 066087, Option 1 or email planningliaison@anglianwater.co.uk

AW Site Reference: 155211/1/0076073

Local Planning Authority: Mid Suffolk District

Site: Land Off Postmill Lane, Fressingfield

Proposal: Outline planning application (all matters reserved) - Erection of up to 18No dwellings and associated new roads, infrastructure and open space

Planning application: DC/19/05956

Prepared by: Pre-Development Team

Date: 27 January 2020

ASSETS

Section 1 - Assets Affected

There are assets owned by Anglian Water or those subject to an adoption agreement within or close to the development boundary that may affect the layout of the site. Anglian Water would ask that the following text be included within your Notice should permission be granted.

Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. Therefore the site layout should take this into account and accommodate those assets within either prospectively adoptable highways or public open space. If this is not practicable then the sewers will need to be diverted at the developers cost under Section 185 of the Water Industry Act 1991. or, in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence.

The development site is within 15 metres of a sewage pumping station. This asset requires access for maintenance and will have sewerage infrastructure leading to it. For practical reasons therefore it cannot be easily relocated.

Anglian Water consider that dwellings located within 15 metres of the pumping station would place them at risk of nuisance in the form of noise, odour or the general disruption from maintenance work caused by the normal operation of the pumping station.

The site layout should take this into account and accommodate this infrastructure type through a necessary cordon sanitaire, through public space or highway infrastructure to ensure that no development within 15 metres from the boundary of a sewage pumping station if the development is potentially sensitive to noise or other disturbance or to ensure future amenity issues are not created.

WASTEWATER SERVICES

Section 2 - Wastewater Treatment

The foul drainage from this development is in the catchment of Weybread Water Recycling Centre that will have available capacity for these flows

Section 3 - Used Water Network

This response has been based on the following submitted documents: Flood risk assessment, surface water and foul water drainage strategy The sewerage system at present has available capacity for these flows. If the developer wishes to connect to our sewerage network they should serve notice under Section 106 of the Water Industry Act 1991. We will then advise them of the most suitable point of connection. (1) INFORMATIVE - Notification of intention to connect to the public sewer under S106 of the Water Industry Act Approval and consent will be required by Anglian Water, under the Water Industry Act 1991. Contact Development Services Team 0345 606 6087. (2) INFORMATIVE - Notification of intention to connect to the public sewer under S106 of the Water Industry Act Approval and consent will be required by Anglian Water, under the Water Industry Act 1991. Contact Development Services Team 0345 606 6087. (3) INFORMATIVE - Protection of existing assets - A public sewer is shown on record plans within the land identified for the proposed development. It appears that development proposals will affect existing public sewers. It is recommended that the applicant contacts Anglian Water Development Services Team for further advice on this matter. Building over existing public sewers will not be permitted (without agreement) from Anglian Water. (4) INFORMATIVE - Building near to a public sewer - No building will be permitted within the statutory easement width of 3 metres from the pipeline without agreement from Anglian Water. Please contact Development Services Team on 0345 606 6087. (5) INFORMATIVE: The developer should note that the site drainage details submitted have not been approved for the purposes of adoption. If the developer wishes to have the sewers included in a sewer adoption agreement with Anglian Water (under Sections 104 of the Water Industry Act 1991), they should contact our Development Services Team on 0345 606 6087 at the earliest opportunity. Sewers intended for adoption should be designed and constructed in accordance with Sewers for Adoption guide for developers, as supplemented by Anglian Water's requirements.

Section 4 - Surface Water Disposal

The preferred method of surface water disposal would be to a sustainable drainage system (SuDS) with connection to sewer seen as the last option. Building Regulations (part H) on Drainage and Waste Disposal for England includes a surface water drainage hierarchy, with infiltration on site as the preferred disposal option, followed by discharge to watercourse and then connection to a sewer.

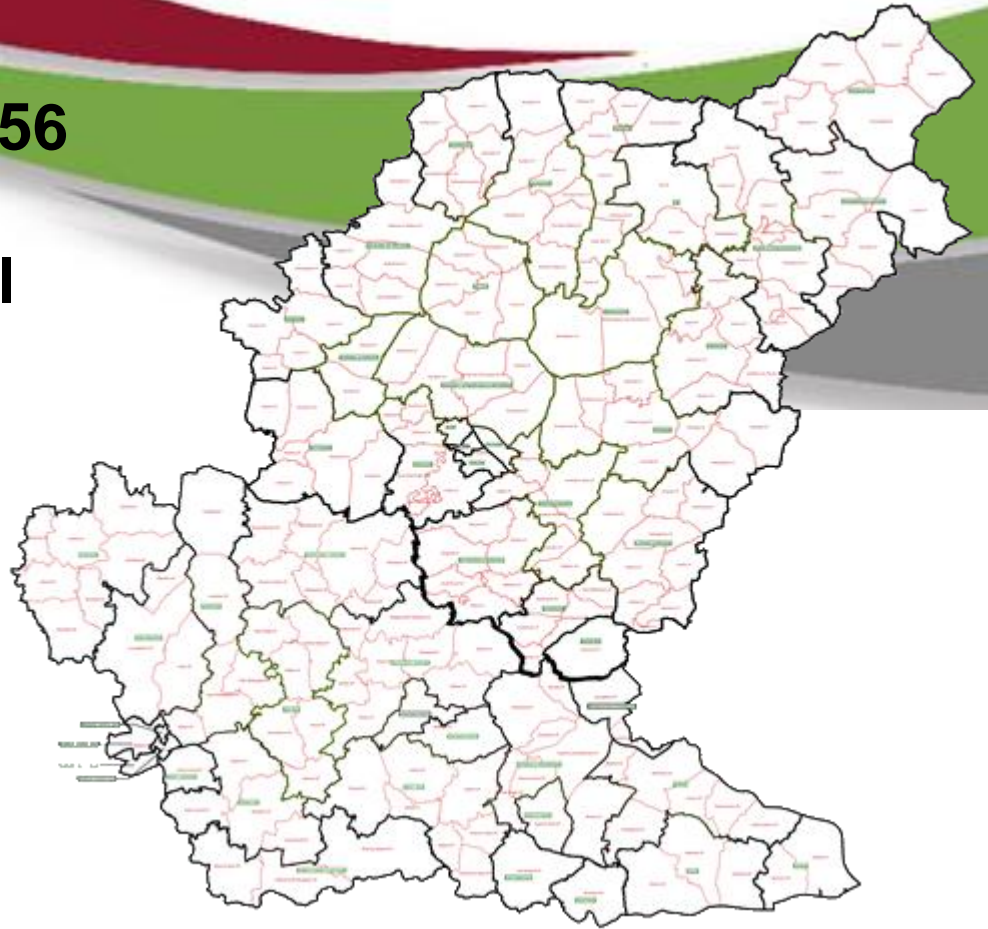
From the details submitted to support the planning application the proposed method of surface water management does not relate to Anglian Water operated assets. As such, we are unable to provide comments on the suitability of the surface water management. The Local Planning Authority should seek the advice of the Lead Local Flood Authority or the Internal Drainage Board. The Environment Agency should be consulted if the drainage system directly or indirectly involves the discharge of water into a watercourse. Should the proposed method of surface water management change to include interaction with Anglian Water operated assets, we would wish to be re-consulted to ensure that an effective surface water drainage strategy is prepared and implemented.

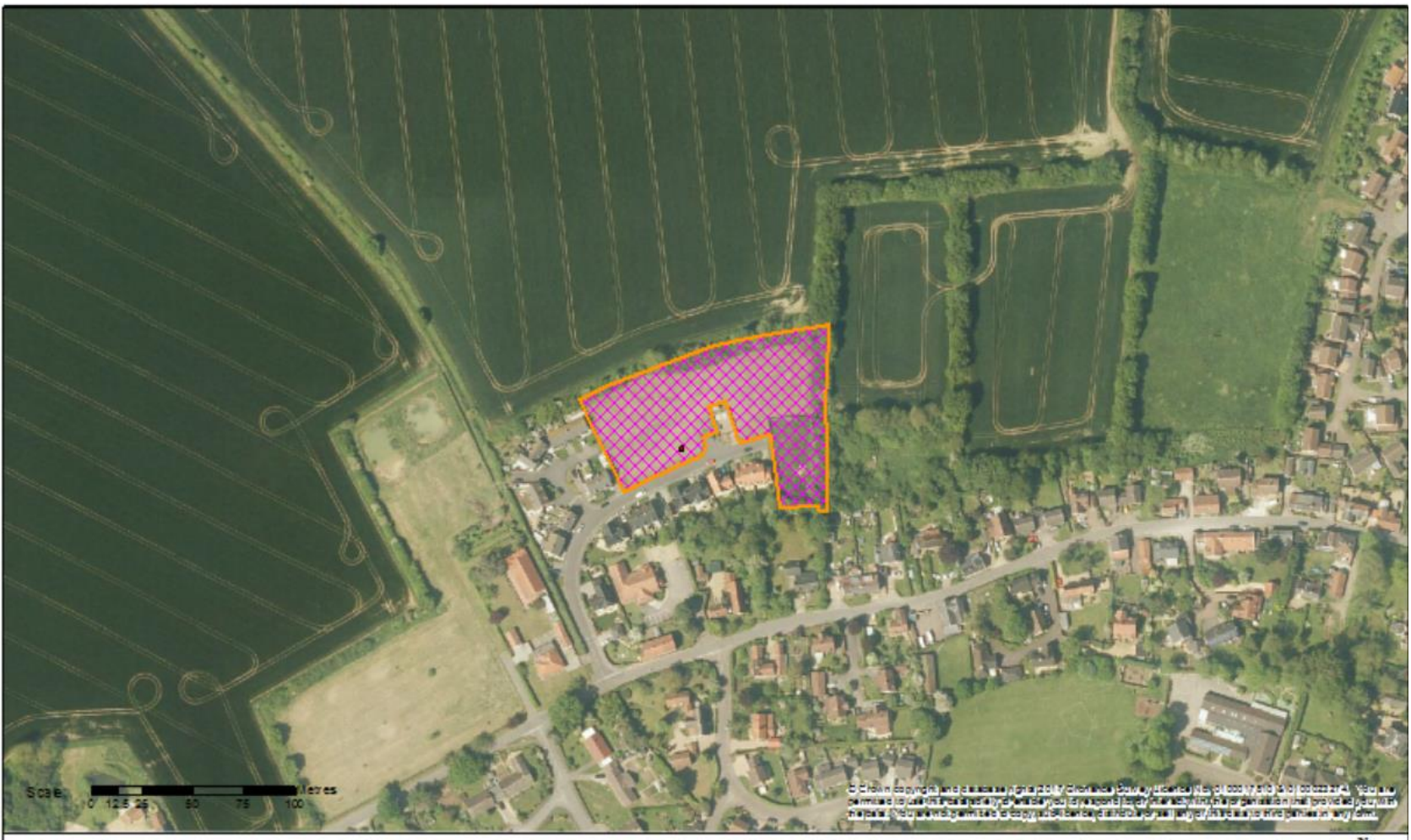
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Application No: DC/19/05956

Address: Land off Postmill Lane, Fressingfield

Page 369





Aerial Map – wider view

Slide 3



Site Location Plan

Proposed Development Post Mill Lane Fressingfield

Page 372



NOTES:

The details depicted on this drawing are the copyright of Templeman Design and may not be reproduced without permission. The drawing must not be reduced, altered or copied without the consent. Errors, omissions and discrepancies should be reported to the relevant professional.

All alterations to be checked before site or off-site construction by the Contractor. No sub-contractors or sublets.

Do not build plans - see Specs or grid alterations where given. Any deviations from the drawing to be reported to the relevant professional.

Structural, electrical, mechanical & general services and specifications are to be worked out & approved by the appointed Structural Engineer. Any deviations to these drawings are to be reported to the appointed consultant immediately.

IF IN DOUBT ASK!

DESIGNERS RESIDUAL HAZARDS

THE FOLLOWING DESIGNERS RESIDUAL HAZARDS HAVE BEEN IDENTIFIED AND SHOULD BE AVOIDED/MINIMISED BY THE CONTRACTOR. ANY HAZARDS THAT CANNOT BE AVOIDED/MINIMISED SHALL BE REPORTED TO THE HEALTH AND SAFETY MANAGER IMMEDIATELY.

NO.	DESCRIPTION
1	
2	



A	Layout changes for planning	16-03-18
1	Issue	Done

LA RONDE WRIGHT
development & planning



Proposed Development Post Mill Lane Fressingfield

Proposed Site Location Plan

--- DPF --- AMB-17




--- SECT --- AMB-17

--- PLANNING ---

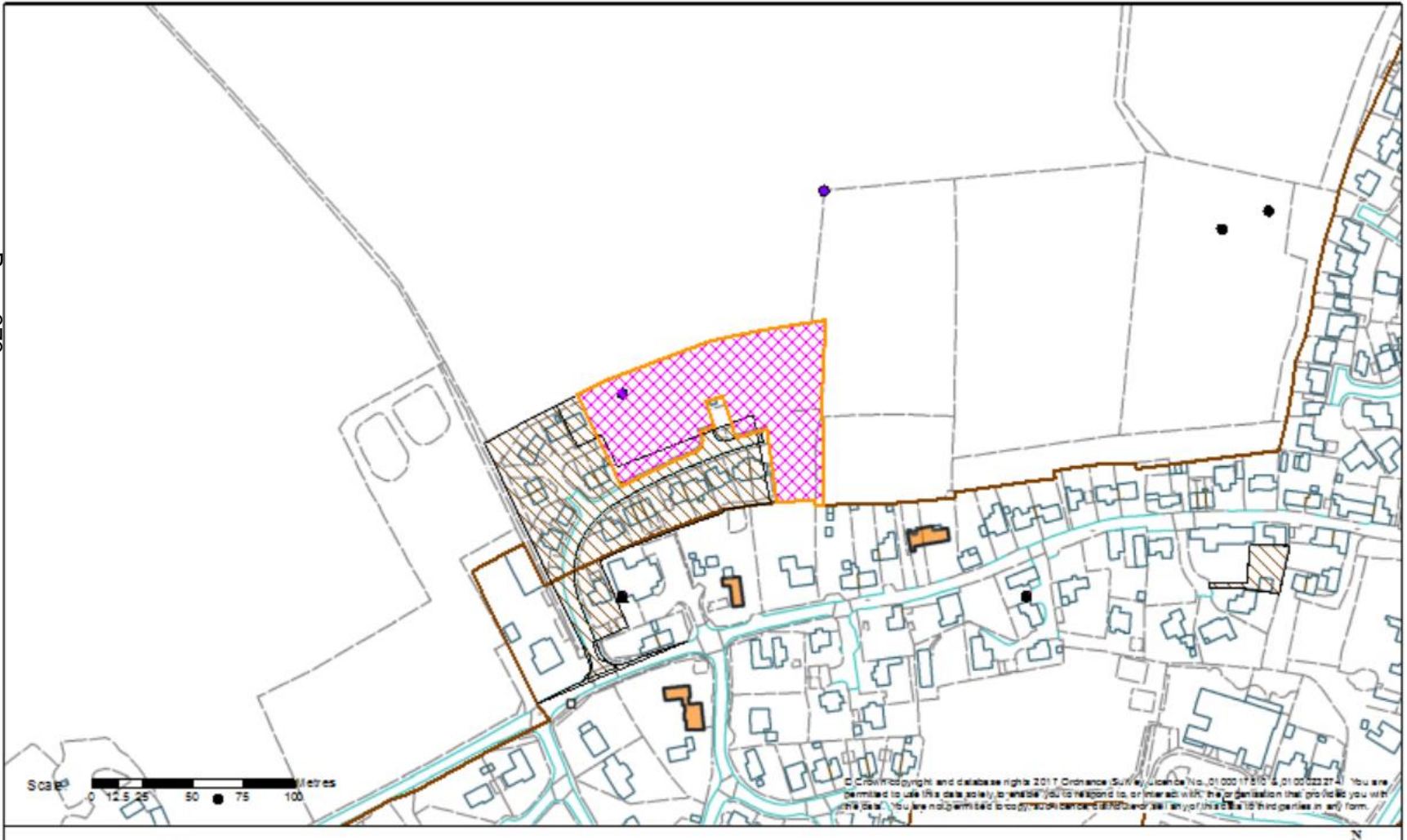
3325-TD-LW-XX-DRG-AR-1004-A

Constraints Map

-  Built Up Area Boundaries
-  Section 106s (excludes new TLC cases)
-  Biodiversity - Protected/Notable Species - e.g. Tawny Owl

- Listed Buildings
-  Grade I
 -  Grade II
 -  Grade II*

Slide 5



Constraints Map

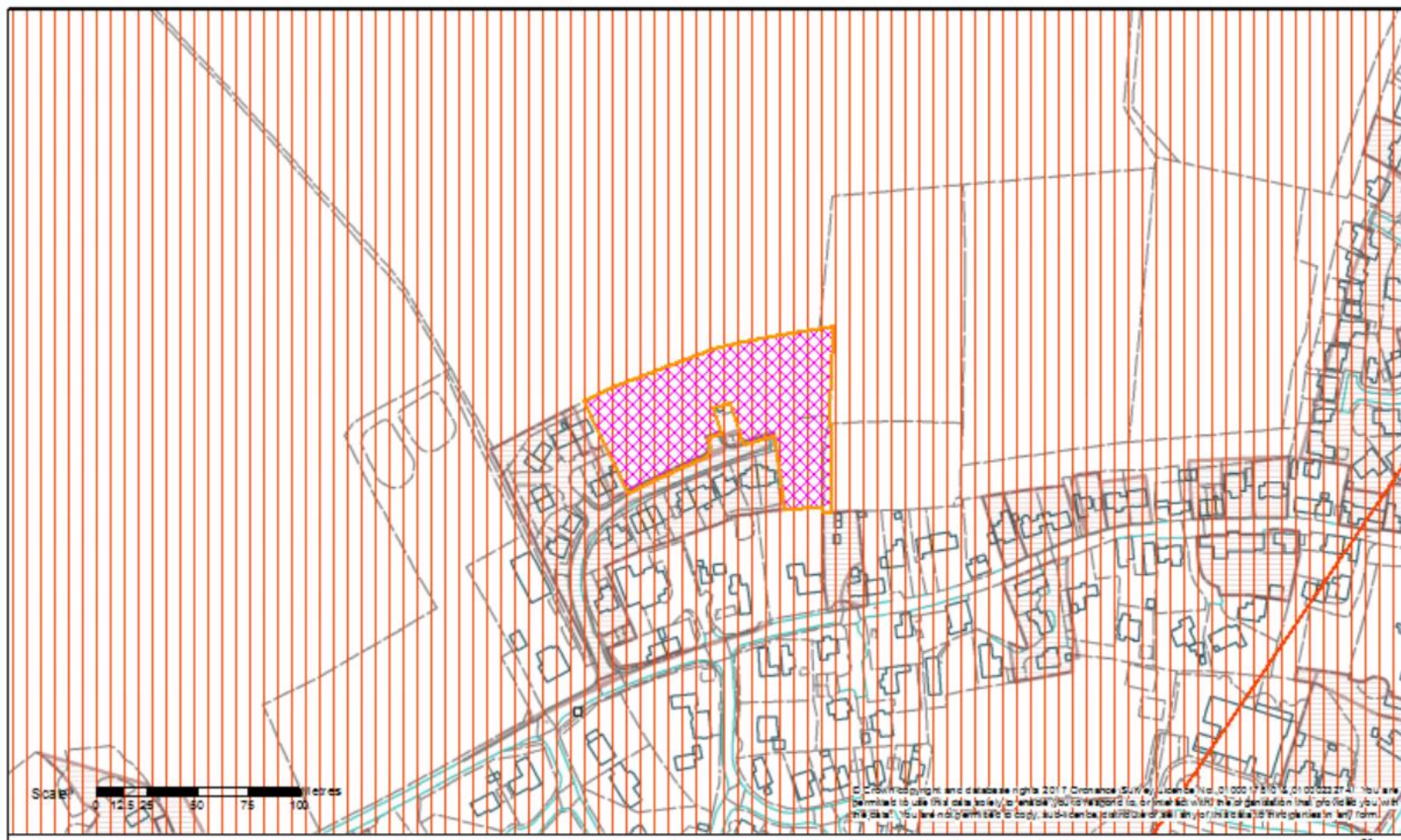
Slide 6



SSSI Impact Risk Zones



PD Rights Removed



Site Layout

Proposed Development Post Mill Lane Fressingfield



NOTES:

The details included on this drawing are the responsibility of the Designer. Changes may also need to be made to other drawings. The Designer does not accept liability for any errors or omissions. Errors and omissions shall be the responsibility of the Designer.

All dimensions to be checked before site or before construction by the Contractor. No dimensions are to be taken from the drawing.

Do not scale plans - use figures or grid dimensions where given. Any deviation from the drawing is to be reported to the Designer immediately.

Structural elements shown in a general arrangement only are to be worked out & approved by the appropriate Structural Engineer. Any deviation to these elements are to be reported to the Designer immediately.

BY DESIGNER: AAR

DESIGNERS RESIDUAL HAZARDS

HAZARD	DESCRIPTION
1	
2	

Page 375

Rev	Description	Date
A	Issue changes for planning	16/10/16

LA RONDE WRIGHT
development & planning

Templeman DESIGN

Proposed Development Post Mill Lane Fressingfield

Proposed Site Layout Plan Option 4 (24 Units)

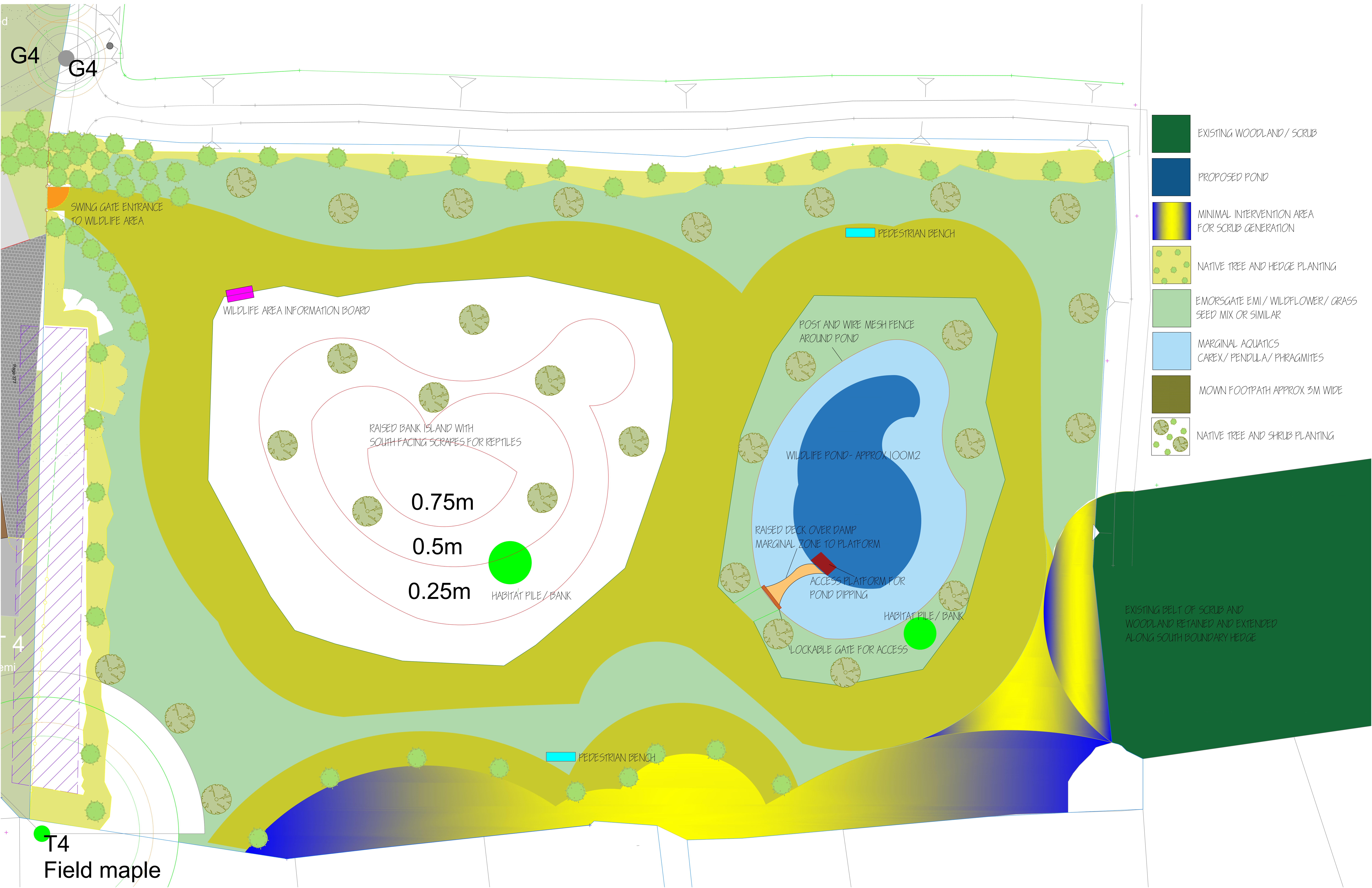
DATE: 16/10/16

DATE: 16/10/16

DATE: 16/10/16

3325-TD-LW-XX-ORG-AR-1003-A

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- EXISTING WOODLAND / SCRUB
- PROPOSED POND
- MINIMAL INTERVENTION AREA FOR SCRUB GENERATION
- NATIVE TREE AND HEDGE PLANTING
- EMORSgate EMI / WILDFLOWER / GRASS SEED MIX OR SIMILAR
- MARGINAL AQUATICS CAREX / PENDULA / PHRAGMITES
- MOWN FOOTPATH APPROX 3M WIDE
- NATIVE TREE AND SHRUB PLANTING

WILDLIFE AREA INFORMATION BOARD

RAISED BANK ISLAND WITH SOUTH FACING SCRAPES FOR REPTILES

0.75m

0.5m

0.25m

HABITAT PILE / BANK

PEDESTRIAN BENCH

POST AND WIRE MESH FENCE AROUND POND

WILDLIFE POND - APPROX 100M2

RAISED DECK OVER DAMP MARGINAL ZONE TO PLATFORM

ACCESS PLATFORM FOR POND DIPPING

LOCKABLE GATE FOR ACCESS

HABITAT PILE / BANK

EXISTING BELT OF SCRUB AND WOODLAND RETAINED AND EXTENDED ALONG SOUTH BOUNDARY HEDGE

G4

T4
Field maple

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HABITAT MANAGEMENT PLAN FOR PROPOSED WILDLIFE AREA AT LAND EAST OF POST MILL LANE, FRESSINGFIELD, SUFFOLK, IP21 5PJ



Report produced by: James Hodson MSc, Bat License 2017-30927-CLS-CLS Eco-Check Consultancy Ltd White House Cottage Knapton Green North Walsham Norfolk NR28 0RU ecocheckconsultancy@gmail.com Tel/ 01263 722199 -07914 130493	Report produced for: C. E Davidson Ltd, South View, New Street, Fressingfield, Suffolk, IP21 5PJ Contact: Peter Davidson
---	--

JULY 2020

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Site Features & Evaluation

Site Details

Site Address: Post Mill Lane, Fressingfield, Suffolk, IP21 5PJ.

Owner: C. E Davidson Ltd

OS Reference: TM256773 (Approximate Centre)

Summary Description

A planning application (DC/19/05956) is submitted to Mid-Suffolk District Council for outline planning for the erection of up to 18 No dwellings and associated new roads, infrastructure and open space and land north of Post Mill Lane, Fressingfield, Suffolk.

As part of this application Eco-Check Ltd have undertaken a preliminary ecological appraisal, reptile survey and great crested newt survey of the site and bordering habitats, including an area of land to the east of Post Mill Lane which is not being developed but which is to be designated as a wildlife conservation area and green open space for residents.

The designated wildlife area covers an area of approximately 0.25ha and measures approximately 70m by 40m. The site interior contains a range of habitats including bare ground, semi-improved and improved grassland, scattered scrub and tall ruderal vegetation. The site is bound by defunct species poor hedging and trees and mostly dry ditches. To the south the site is bound by dwellings and gardens.

As part of this application we have produced an outline habitat, environmental and landscape management plan to create a wildlife conservation area within this area of land and which will be accessible to existing and new residents. This report provides supporting information and rationale for the proposed creation and management to enhance and maximise the sites ecological value.

This outline management plan covers an initial period of 10 years with information regarding the timing, implementation and management of the existing and proposed habitats and landscaping. This management plan has been sub-divided into five main areas of the proposed wildlife area:

- Areas A: Wildlife area access, footpath, seating, solar lighting and signage;
- Areas B: Wildlife and conservation area wildflower meadow and planting;
- Areas C: Protection and enhancement of boundary trees, hedging, scrub, ditches and bare ground (soil and sand exposures);
- Areas D: Wildlife and conservation area pond and pond planting;
- Areas E: Additional planting, bird and bat boxes, habitat piles/banks

1.0 INTRODUCTION

1.1 PURPOSE AND SCOPE OF DOCUMENT

1.1.1 The Management Plan shall be taken to include this document and any supporting plans, reports and specifications previously submitted including the previous ecological assessment, phase 1 habitat map and masterplan which should be read in association with this management plan (Eco-Check October 2019). This also includes any documentation containing quantitative and qualitative information about the areas of the site that will be useful to those responsible for managing and maintaining them.

1.1.2 The purpose of this document is to schedule all required maintenance regimes, operations and works necessary for the satisfactory management of the landscape in perpetuity. The Management Plan sets out the management aims and objectives for the site along with the specific management objectives for each landscape component, and the associated maintenance works required on an Annual and Occasional basis. The Annual Works are those works that will be required every year, such as grass cutting, rotational scrub control, reed cutting and litter picking. The Occasional Works are those that will be required on an irregular or cyclical basis, such as dredging, tree felling, coppicing and monitoring.

1.2 THE GROUNDS

1.2.1 Location

The proposed wildlife area is a parcel of land to the east of Post Mill Lane in the small Suffolk village of Fressingfield. The site comprises improved and species poor semi-improved grassland with tall ruderal vegetation bound by trees and hedging to the north, south and east and a dry ditch with culvert forming the west boundary and propose point of entry into the site. There is also a dry ditch that runs along the north and eastern boundaries of the eastern field.

To the north of the site is arable land, while to the south are residential houses and gardens. To the east are grassland fields, possibly grazed pasture and to the west is further residential dwellings and gardens. The wider landscape is dominated by arable land, interspersed with woodland copses, hedgerows and small residential areas. The proposed wildlife area covers an area of approximately 0.6 acres (0.25ha) and has been periodically mown.

1.2.2 Ownership

The land subject to this plan is wholly in the ownership of C. E Davidson Ltd. The site is currently not in any particular land use but is periodically mown to prevent scrub encroachment. The proposed wildlife area will be operated and managed by the site owner.

1.2.3 Site Description and Objectives

This management plan has been prepared to form a wildlife area and area of green open space for existing and future residents with access from Post Mill Lane to the west. The proposed creation of this wildlife area comprises a combination of natural regeneration and structure planting in addition to some species-specific habitat creation such as a pond, wildflower area, banks and tree and hedge planting. This management plan gives details for the proposed habitat creation, enhancement, management, implementation and how this will be of benefit to wildlife.

The objectives of the management plan are to:

- To promote the long-term sustainability of the key habitats through ecological diversity enhancement, protection and conservation
- To support restoration and enhancement of the hedgerows, grassland, scrub and trees by encouragement of appropriate native species
- To promote the occurrence of BAP species such as turtle dove, grass snake, common lizard, great crested newt, bats and tree sparrow.
- To help assure safety of site users,
- To conserve and enhance the local landscape
- To achieve the above through sound, sensitive ecological, arboricultural and silvicultural practice

This outline management plan relates to an initial 10-year period and takes account of previous management and land use changes and sets objectives and extends and amends site management where relevant and appropriate. The plan does not assess tree health, specific arboricultural considerations or health and safety.

1.2.4 Implementation of Management Plan

Parties involved;

- **The Land Owners:** C. E Davidson will ultimately be responsible for the protection and management of the site and the implementation of hard and soft landscape works in accordance with planning drawings and documents including any contractual maintenance period associated with these works.
- **The Local Planning Authority:** This term (abbreviated to LPA) shall refer to Mid-Suffolk District Council and its Planning Officers, Suffolk Wildlife Trust, Place Services and Natural England who are involved in the process of the approval of landscape, ecology, development and other documentation.
- **The Landscape Management Contractor:** the company who may be appointed by the land owner to carry out the landscape and habitat management and maintenance works if not implemented by the employees of C. E Davidson Ltd.

2.0 LEGAL REQUIREMENTS

2.1 There are legal requirements to be considered within the management plan primarily related to statutory wildlife protection as well as forestry, planning, waste and health and safety as are summarised below.

2.2 During the ecological assessments undertaken by Eco-Check in 2019 bats, reptiles and a wide variety of birds (Schedule 1 WCA and Bird of Conservation Concern) have been considered as potentially using the site either on a permanent or semi-permanent basis. These species are afforded protection by the Wildlife and Countryside Act 1981 (as amended).

2.3 All species of British bat and their roosts are protected under British law by the Wildlife and Countryside Act 1981 (as amended), which is extended by the Countryside and Rights of Way Act 2000. Bats are classified as European Protected Species under the Conservation of Species and Habitats (Amendment EU Exit) Regulations 2019. Together, the legislation makes it illegal to:

- Intentionally or deliberately kill, injure or capture (or take) bats;
- Deliberately disturb bats (whether in a roost or not);
- Recklessly disturb roosting bats or obstruct access to their roosts;
- Damage or destroy bat roosts;
- Possess or transport a bat or any part of a bat, unless acquired legally;
- Sell, barter or exchange bats (dead or alive) or parts of bats.

2.4 All birds, their nests and eggs are protected by law under Part 1 of the Wildlife and Countryside Act 1981 (as amended). Furthermore bird species such as red wing, fieldfare, bittern, hobby, goshawk, graylag goose, marsh harrier, red kite, osprey, green sandpiper, kingfisher and barn owl are listed on Schedule 1, which gives them special protection whilst nest building, occupying a nest or being near a nest holding eggs or young.

2.5 Grass snake, slow worm, common lizard and otter are also European Protected Species and protected under the Conservation of Species and Habitats (Amendment EU Exit) Regulations 2019 and Schedule 5 of the Wildlife and Countryside Act, 1981 (as amended). This makes it illegal to intentionally kill or injure any individuals.

2.6 Badgers are protected and so are the setts (burrows) they live in. Under the Protection of Badgers Act 1992, in England and Wales (the law is different in Scotland) it is an offence to:

- Wilfully kill, injure or take a badger (or attempt to do so).
- Cruelly ill-treat a badger.
- Dig for a badger.
- Intentionally or recklessly damage or destroy a badger sett, or obstruct access to it.
- Cause a dog to enter a badger sett.
- Disturb a badger when it is occupying a sett.

2.7 Trees

Under the Forestry Act 1967 the felling of over 5m² of timber in any one quarter, not subject to a valid planning consent or for the prevention of danger needs permission from the Forestry Commission which can take up to 3 months to process. This does not apply to the felling of trees with a diameter not exceeding 8 centimetres or, in the case of coppice or underwood, with a diameter not exceeding 15 centimetres; or to the felling of fruit trees or trees standing or growing on land comprised in an orchard, garden, churchyard or public open space; or to the topping or lopping of trees or the trimming or laying of hedges.

2.8 Waste Management Regulation 1994 (as amended)

Due care and consideration should be given to the disposal of any dredge spoil from the ditches. Under the Nitrates Directive and protection of Nitrate Vulnerable Zones the disposal of dredge spoil within the site may not be deemed acceptable.

2.9 Health and Safety

The site facility, operations and works related to this management plan should be subject to an appropriate risk assessment to meet health and safety obligations and addressed by a separate report.

3.0 AREA SURVEYED

3.1 Wildlife Area

The proposed wildlife area can be divided into the following four general areas relating to the habitats and function;

- Areas A: Wildlife area access, footpath, seating, solar lighting and signage;
- Areas B: Wildlife and conservation area wildflower meadow and planting;
- Areas C: Protection and enhancement of boundary trees, hedging, scrub, ditches and bare ground (soil and sand exposures);
- Areas D: Wildlife and conservation area pond and pond planting;
- Areas E: Additional planting, bird and bat boxes, habitat piles/banks

3.2 Landscape Areas and Landscape Components

The proposed landscape areas as listed above and existing habitats shown in the habitat map Appendix 2 subject to this landscape and habitat management plan include the following components:

- Bare ground
- Ditches
- Footpaths and tracks
- Improved and semi improved grassland areas
- Native hedgerows
- Scattered and dense scrub
- Standing water (pond and ditches)
- Trees and hedging
- Wildflower meadow

3.3 Development proposals under planning application (DC/17/4171/FUL)

The proposed development for which this wildlife area is being formed relates to the construction of 18 new dwellings across an improved grassland field to the north of Post Mill Lane and north-west of the proposed wildlife area. The construction areas to which the planning application relates contain a low diversity of habitats dominated by improved grassland, tall ruderal and common ephemeral and perennial weed species. The site is bordered by more valuable habitats including dense scrub, scattered trees and hedging.

All construction work and site operational mitigation would take place in accordance with the recommendations within the extended phase 1 habitat and protected species survey report dated October 2019 and the content of this outline habitat, landscape and environmental management plan. These recommendations should be secured by way of condition on any planning consent granted and will be supervised, implemented and monitored by the appointed ecological clerk of works (EcOW).

4.0 OBJECTIVES AND MANAGEMENT PRESCRIPTIONS BY AREA

Area A: Wildlife area access, footpath, seating, solar lighting and signage;

Objectives

- Maximise the ecological interests of the areas of mown grassland along the footpath.
- Maintain and enhance the habitats along the footpath.
- Tree and shrub planting with native species to improve the landscape structure, biodiversity, and amenity value of the wildlife area.
- Maximise the amenity value of the wildlife area, educational interest and safety with solar lighting.

Management

4.1 Plant native hedging including shrubs and trees with irregular spacing along the footpath entrance into the wildlife area from the west. This will define the site entrance, provide screening and privacy and improve habitat connectivity to surrounding habitats (See landscape plan). Spiral guards to protect plantings from rabbits and maintain for 5 years. Species should be native, locally sourced and could include hawthorn, blackthorn, field maple, hazel and dogwood with appropriate trees standards for the soil substrate (See Hedge planting specification in Section 5).

4.2 Once areas of rough grassland have established within the designated areas, mow grass rides to form a figure of 8 loop around the pond and wildflower meadow to provide a pleasant footpath for residents. The length of the footpath will be approximately 160m. The mown footpath will provide a boundary habitat for wildlife and some grass piles created along the boundary hedges and ditches. Surplus grass cuttings should be burnt or composted. Elsewhere maintain areas of rank grassland along the footpath edge, cut annually between August/September, sward height after cutting should be approximately 10-15cm.

4.3 Cutting and pruning back of branches overhanging the site entrance and footpath as required to allow safe pedestrian access around the site.

4.4 Install two benches for seating, one adjacent to the wildflower meadow area in the west of the site and another adjacent the wildlife pond in the east end of the site.

4.5 Upon completion of the wildlife area and once the designated areas have been established, create an information board to the site entrance detailing some of the species of flora and fauna that are present and/or may be seen.

4.6 Whilst the wildlife area is unlikely to be used after dark, it may be prudent to install some solar downlights along the footpath and particularly around the pond edges for safety. These lights will not require mains power and the low lux downlights will not cause disturbance to nocturnal species such as foraging and commuting bats.

Area B: Wildlife and conservation area wildflower meadow and planting;

Objectives

- Maximise the ecological interests of the wildlife and conservation areas.
- Maximise the ecological interests of the areas of grassland and seeding
- Promote the nature conservation interest of the site through the promotion of a fun adventure experience for children and families within the wildlife areas and quiet enjoyment and environmental education.
- Tree and shrub planting with native species to increase diversity and ecological connectivity across the site

Management

4.7 Seeding wildlife and conservation areas with meadow mix for fertile soils- Wildflower and grass mix (<http://www.wildflowersuk.com/details.asp?ID=19&name=Meadow-Seed-Mix-for-Fertile-Soils--Wildflower-and-Grass-Mix>). Mow newly sown meadows regularly throughout the first year of establishment to a height of 40-60mm, removing cuttings if dense. This will control annual weeds and help maintain balance between faster growing grasses and slower developing wild flowers, seeding with yellow rattle (*Rhinanthus minor*) will promote diversity as is a semi-parasitic plant feeding off the nutrients in the roots of nearby grasses.

4.8 Additional tree and shrub planting within wildlife areas and around pond and site margins, suggested native trees include oak, alder, poplar and willow as detailed in landscape plan, whilst understory shrubs could include spindle tree and Guelder rose.

4.9 *Grassland Management*; Lack of cutting/grazing results in grassland becoming dominated by coarse grasses and scrub and eventual loss of characteristic grassland species. Over cutting or grazing is not desirable although very short grassland and bare patches of soil can add structural diversity to the grassland. There is evidence of rabbit grazing across the site which creates varied sward height and so any supplementary mowing should be targeted in areas where the sward is not controlled by grazing.

4.10 Due to the relatively small area of the proposed management site (0.25ha) it is deemed that grazing would not be feasible so it is proposed that there will be rotational cutting of grassland habitats. Cutting will be restricted to small-scale patch cutting to maintain structural diversity rather than large-scale "Cropping" of the grass, which is particularly detrimental if the cuttings are left to lie on the ground. Mowing grassland and removing the cut material helps to keep soil nutrient levels low and create openings in the sward where seed can spread.

4.11 Grassland to be cut between late August and mid-September (the later the better as more plants will get a chance to set seed). Rough grassland fringes around the pond and scrub stands will benefit from a shorter 'cut and rake' rotation cycle of 2-3 years where a half or a third is cut in late summer/autumn. This should be integrated with the coppicing cycle i.e. cut and rake the edge of scrub block that is being coppiced in the same year.

4.12 Ensure all the cuttings are removed annually, or at least every two or three years. This is particularly important since any dead vegetation will smother any seeds trying to germinate and allow nutrients to build up on site. Some grass cuttings can be taken and used to create grass piles around the site in sunny areas next to the areas of scrub or hedges. The piles are to have a base of no more than 2m by 2m and be no more than 1m high.

4.13 Where possible, cut different parts of the grassland at different times of the year to create a more interesting mosaic, aim for a sward height of approximately 10-15cm after cutting. Rough grassland strips to be retained along the boundary hedgerows and ditches, at least 2-3m wide.

Area C: Protection and enhancement of boundary trees, hedging, scrub, ditches and bare ground (soil and sand exposures);

Objectives

- Tree and shrub planting with native species to improve the landscape structure, biodiversity, and screening/amenity value within the vicinity of the proposed new dwellings.
- Maintain the existing trees in as healthy and attractive condition for as long as possible, to ensure continuity in tree cover and their contribution to the landscape structure, biodiversity, and screening/amenity value of the site and ensure that trees are healthy and safe.
- Maintain and enhance sufficient areas of bare sand and gravel exposures, earth bunds and banks for wildlife.
- Management of existing boundary scrub habitats to enhance value to wildlife and control encroachment into other habitat areas.
- Supplementing and management of boundary trees and hedging.

Management

4.14 Infill planting of native hedging including shrubs and trees with irregular spacing along the footpath entrance into the wildlife area. This will define the siter entrance, provide screening and privacy and improve habitat connectivity to surrounding habitats (See landscape plan). Spiral guards to protect plantings from rabbits and maintain for 5 years. Species should be native, locally sourced and could include hawthorn, blackthorn, field maple, hazel and dogwood with appropriate trees standards for the sandy/gravel substrate (See Hedge planting specification in Section 5).

4.15 Once established, cut hedges on a two-year cycle cutting half the hedge width on each cut, to be cut during autumn/winter period. Strim or cut basal vegetation along hedges every 2 years to maintain and enhance ground flora.

4.16 Formative pruning and tree care of existing boundary trees and planting of additional native trees such as oak, birch, alder, poplar and willow. Supplementary planting and replacement of tree stock as required, including English oak to the north and west boundaries. Existing and newly planted trees to be suitable protected with guards to prevent bark damage. Stake and protect planting from

rabbits with spiral guards. Any cut wood to be used to create dead wood habitat and occasional refuges/hibernacula along the ditches, hedges and pond margins.

4.17 Rotational cutting of dense mature scrub stands on the east boundary to promote a more varied age structure across the site as well as targeted removal of encroaching scrub from open habitats where appropriate, such as the pond margins. Create long edges to the scrub stands which are sunny and sheltered and a scrub mosaic effect. Edges are particularly important for wildlife because they have flowering plants which provide continued nectar for invertebrates, fruits and seeds for birds and mammals, shelter and nest sites and hunting grounds for raptors.

4.18 Supplementary planting of hawthorn and blackthorn along the north and south boundaries will provide habitat for turtle dove and natural regeneration of seed-bearing plants such as teasel (*Dipsacus fullonum*) fumitory, knotgrass and chickweed provide an important food source as do the adjacent crop fields to the north of the site.

4.19 Existing trees should be regularly visually checked for the presence of any diseased or rotten wood; fungal or other infections/disease; and stability and record kept of such inspections. If any such issues are identified then the advice of a qualified arboriculturist should be sought immediately and the necessary action undertaken with the prior written agreement of the Local Planning Authority, to ensure the health & safety of the tree as well as persons and property in the immediate vicinity. Over and above the general checks for the presence of any diseased or rotten wood; fungal or other infections/disease; and stability, tree safety monitoring and pruning of branches around the site will be undertaken as required and recorded. This will provide a fully audited tree inspection and safety management regime to ensure the future health and safety of trees as well as persons and property in and around the site.

4.20 Any trees felled during site clearance to be chipped and composted to provide mulching material around new tree and shrub plantings.

4.21 Removal of top soil from small areas along the site margins and a raised bank within the wildflower island to create pioneer habitats where early colonizing ruderal species can thrive will also be implemented. Maintain areas of bare soil exposures along the banks of the ditches, especially close to scrub habitat which will provide basking habitat for reptiles and suitable conditions for aculeate hymenoptera such as bees, wasps and ants.

Area D: Wildlife and conservation area pond and pond planting;

Objectives

- To enhance the ecological quality and diversity of species associates with areas of standing water;
- Create a pond covering an area of approximately 100m²;
- Create an attractive and exciting route for visitors along the footpath;
- Enhance and manage the pond to maximise value to wildlife.
- Form a small reed-bed, including the enhancement of the marginal aquatic habitats for invertebrates such as dragonfly;
- Management of scrub vegetation along the margins of the pond;
- Monitoring of the pond margins for flora and fauna and to assess any damage or impacts of disturbance from site users.

Management

4.22 The pond to be enhanced and managed to maximise its value to wildlife and particularly. This will include profiling the pond to have shallow margins and banks to provide access and feeding areas for wildlife and promote marginal aquatic and emergent vegetation and areas of deeper water. A steep, densely vegetated bank will be created to provide potential water vole habitat. Occasional cutting back and clearance of invading scrub (alder, willow etc.) will be required to prevent encroachment and shading of the pond.

4.23 The wildlife pond will be left as far as possible as 'minimum intervention' with rotational cutting, clearing and maintenance as required. Cutting back of any scrub or self-seeded trees may be required on an occasional basis. The margins of the pond will be fenced off with minimal intervention to prevent access by pedestrians and dogs, although fencing wire should provide sufficient clearance for small mammals to access the pond.

4.24 Manage the margins of the pond on a 3-5-year cycle, with targeted control of emergents more often as necessary. Highest species diversity of aquatic plants is most often associated with margins managed every three to five years. Management should be undertaken in the late summer or early autumn, after plants have seeded, after the bird breeding season but before winter visitors arrive and when water levels are low. Annual checks of the pond margins for evidence of water voles, amphibians etc.

4.25 The proposed grassland areas around the pond provide habitat and foraging ground for waders and waterfowl. Planting around the new pond with native rushes and sedges including *Juncus spp*, common reed *Phragmites australis*, reedmace *Typha latifolia*, water mint *Mentha aquatica* and *Iris.spp* (See Section 5).

Area E:

Areas E: Additional planting, bird and bat boxes, habitat piles/banks

Objectives

- Tree and shrub planting with native species to improve the landscape structure, biodiversity and amenity value of the site;
- Install bat and bird boxes and refuges and hibernaculum for herpetofauna

Management

4.26 Tree and shrub planting within the site, such as around the edges of the footpath, wildflower island and along the west boundary ditch. To be comprised of native species of local provenance, including trees and shrubs appropriate to the local area. Suitable species for inclusion within the planting could include native trees such as Oak, Birch *Betula pendula* and Field Maple, whilst native shrub species of particular benefit would likely include fruit and nut bearing species which would provide additional food for wildlife, such as Blackthorn, Hawthorn, Crab Apple *Malus sylvestris*, Hazel *Corylus avellana* and Elder. Where non-native species are proposed, these should include species of value to wildlife, such as varieties listed on the RHS' 'Plants for Pollinators' database, providing a nectar source for bees and other pollinating insects.

4.27 Install bat and bird boxes on mature boundary trees as young trees offer limited nesting and roosting opportunities. Install Weatherlite bird and bat boxes as detailed in Section 6.

4.28 Create new habitat/hibernaculum piles/banks within undisturbed areas of the site such as within the wildflower island, pond island and banks of the ditches. These can be created at any time of year and will provide potential refuge sites on which any animals found during clearance works can be placed. The habitat piles should be created following the guidelines provided in Section 6.

5.0 SUPPLEMENTARY GUIDANCE TO WILDLIFE AREA CREATION AND HABITAT MANAGEMENT

5.1 Planting and management of hedgerows to maintain and enhance their value for wildlife.

New hedge planting, supplementation and management of hedgerows as detailed in Section 4. The hedgerows will incorporate native species and will complete habitat connectivity around the perimeter of the site by linking to the existing trees, scrub and shrubs. The hedgerow planting and management around the site will be the responsibility of the owners of the site and are to be maintained by trimming back to prevent them from becoming overgrown. Time of year that the hedges should be cut back is late winter.

5.1.1 General Hedge Management-

Good hedgerow management will support an abundance of insects and provide habitat for a range of birds and mammals, and supply of food for some species throughout the year. The management of the margins next to the hedge is also critical for a wide range of species. A variety of boundary types also provides habitat for a wider diversity of wildlife. Some birds such as partridges and yellowhammers prefer short hedgerows (<2m) with grass margins, bullfinches and doves prefer wide hedgerows (>4m).

The new boundary hedgerows planting to be implemented with the following methods;

- Undertake any planting during winter, provided the ground is not frozen. The best time is early winter, when the ground is warm and moisture is available.
- Planting up the gaps can be done in conjunction with coppicing existing plants to reduce competition for the young plants.
- Before planting, ensure the ground is free of vegetation, using glyphosate if necessary. Alternatively, plant through black polythene or a straw mulch to suppress weeds and reduce moisture loss. Weed control may be necessary for at least the following three years.
- It may be necessary to use plastic tubes, spirals, quills or rabbit netting to protect young plants from grazing rabbits or deer.
- Where hedgerow trees are a feature of the hedge, you should plan to replace mature or dead trees by allowing saplings of native species to be left untouched during trimming or by planting new trees.
- Retain old, dying and dead trees where they are not a hazard, as they support important insect communities and may be used by hole-nesting birds and bats.
- Where a hedge includes several hedgerow trees, establish buffer strips at least 3m wide on either side of the hedge to protect the roots from damage.

A dense hedge base provides good habitat and helps with weed control. Thick, dense cover at the base of a hedge is important to protect nesting birds from predation, gives additional habitat for small mammals and insects and, once established, prevents weed species such as cleavers and thistles from smothering the hedge and affecting the adjoining buffer strip.

- Aim to maintain a variety of hedge heights and widths to provide the best range of habitat.
- Trim in January or February to avoid destruction/disturbance of birds' nests (March to August).
- Trim on a two- or three-year rotation rather than annually to boost the berry crop and insect population.
- Avoid trimming all hedges in the same year.
- Consider allowing small hedges to grow out gradually by leaving an additional few centimetre in height and width at each cut.
- Ground cover at the hedge base should be retained over-winter for ground nesting birds.

5.1.2 Hedge Restoration and Creation-

Sympathetic rotational trimming generally keeps hedgerows in good condition for many years, but occasional restoration work is necessary to prevent gaps developing or hedges turning into a line of trees. Hedgerow restoration can be done in the winter by one of the following methods;

- Coppicing (cutting stems at ground level) is the best method of restoration where the hedge is too overgrown to be laid because the stems are too thick. Laying (cutting stems part way through and interweaving them along the hedge line) has a less drastic effect on wildlife and maintains the character of the landscape, but requires skilled labour.
- Both coppicing and laying may reduce nesting opportunities for some birds in the few years immediately after management and should therefore be carried out on a long rotation rather than managing large sections in one year.
- Plant up gaps in hedgerows using species that are native to the area – use local sources of plants of original native stock where possible.
- Undertake any planting during winter, provided the ground is not frozen. The best time is early winter, when the ground is warm and moisture is available.
- Planting up the gaps can be done in conjunction with coppicing existing plants to reduce competition for the young plants.
- Before planting, ensure the ground is free of vegetation, using glyphosate if necessary. Alternatively, plant through black polythene or a straw mulch to suppress weeds and reduce moisture loss. Weed control may be necessary for at least the following three years.
- It may be necessary to use plastic tubes, spirals, quills or rabbit netting to protect young plants from grazing rabbits or deer.
- Where hedgerow trees are a feature of the hedge, you should plan to replace mature or dead trees by allowing saplings of native species to be left untouched during trimming or by planting new trees.
- Retain old, dying and dead trees where they are not a hazard, as they support important insect communities and may be used by hole-nesting birds and bats.
- Where a hedge includes several hedgerow trees, establish buffer strips at least 3m wide on either side of the hedge to protect the roots from damage.

5.1.3 Landscape, Tree and Hedge Planting Schedule-

A detailed landscape design is included within the attached landscape plan as submitted which should also include the planting of native, berry bearing tree species around the site which would provide additional food sources and nesting sites for species. New hedge planting will be implemented as detailed and the existing gaps in boundary hedgerows will be supplemented where necessary by infilling gaps with native hedge species and trees (See Hedge Restoration and Creation).

PLANTING SCHEDULE				
HEDGEROW MIX (As necessary)				
SPECIES	DENSITY	AGE	ROOT	HEIGHT
30% Blackthorn (<i>Prunus spinosa</i>)	0.45m	1+1 or 1/1	BR	40-60cm
20% Hawthorn (<i>Crataegus monogyna</i>)	0.45m	1+1 or 1/1	BR	40-60cm
10% Guelder Rose (<i>Viburnum opulus</i>)	0.45m	1+1 or 1/1	BR	40-60cm
10% Dog Rose (<i>Rosa Canina</i>)	0.45m	1+1 or 1/1	BR	20-30cm
10% Hazel (<i>Corylus avellana</i>)	0.45m	1+1 or 1/1	BR	40-60cm
10% Field Maple (<i>Acer campestre</i>)	0.45m	1+1 or 1/1	BR	40-60cm
5% Wild Honeysuckle (<i>Lonicera periclymenum</i>)	0.45m	1+1 or 1/1	BR	20-30cm
5% Holly (<i>Ilex aquifolium</i>)	0.45m	1+1 or 1/1	CG-3I	40-60cm

5.2 Planting and management of species rich grassland to enhance their value for wildlife

5.2.1 The majority of the site interior will be initially seeded with a meadow grass mixture suitable for nutrient enriched soil such as, (<http://www.wildflowersuk.com/details.asp?ID=19&name=Meadow-seed-mix-for-Fertile-Soils--Wildflower-and-Grass-Mix>). Such seed mixes include fine grasses and wildflowers that are tolerant of drought and higher fertility conditions associated with former arable land.

5.2.2 Grassland habitats where managed correctly are important corridors for the movement of fauna, over-wintering habitats for many insects and birds that move into adjacent habitats. The recommendation for grassland buffer strips is:

- At least 2m wide and preferably 3m along hedgerows and ditches
- Composed of perennial grasses and other non-weedy herbaceous species
- Avoid use of pesticides and fertilizers in this area
- Allow build-up of dead grass material (essential for successful nesting)
- Top the vegetation every 2-3 years to avoid scrub encroachment.

5.2.3 Once planted the aim of the grassland management is to encourage diversity in the sward by allowing other native species to flower and set seed. The longer sward will also provide a more diverse habitat for invertebrates and other animals.

- The grassland areas should be cut annually.
- Mowing should take place in late Aug- Sept.
- The sward height after cutting should be 10-15cm approximately.
- These cuttings can be taken and used to create grass piles around the site in sunny areas next to the areas of shrubs, scrub, pond margins or hedges. The piles are to have a base of no more than 2m by 2m and be no more than 1m high. The excess cuttings should then be removed from the site.

5.2.4 Species Rich Wildflower Grassland Areas

Wildflower Meadow-

The dominant habitat within the interior of the site is improved and species poor semi-improved grassland with short perennials and tall ruderal vegetation of limited ecological value, however the key areas of the site are to be seeded and managed to encourage the growth of a wild-flower meadow and species rich grassland. There are two key stages to achieving this, the first being ground preparation, the second timing and technique of sowing seeds. These are summarized below;

Ground preparation-

Good preparation

is essential to success so aim to control weeds and produce a good quality seed bed before sowing. To prepare a seed bed first remove weeds using repeated cultivation or a herbicide. Then plough or dig to bury the surface vegetation, harrow or rake to produce a medium tilth, and roll or tread to produce a firm surface.

Sowing-

Seed is best sown in the autumn or spring but can be sown at other times of the year if there is sufficient warmth and moisture. The seed must be surface sown and can be applied by machine or broadcast by hand. To get an even distribution, and avoid running out, divide the seed into two or more parts and sow in overlapping sections. Do not incorporate or cover the seed, but firm in with a roll, or by treading, to give good soil/seed contact.

Aftercare-

First year management-

Growth and establishment of wild grasses may be slow initially, especially at low sowing rates (2-5g/m²). There will often be a flush of annual weeds from the soil in the first growing season. This weed growth is easily controlled by topping or mowing on an annual basis as detailed above.

Management once established-

In the second and subsequent years grass sowings can be managed in a number of ways which, in association with soil fertility, will determine the character of the grassland. The sowing can be managed as a meadow by allowing the grasses to

grow tall, flower and seed from May through to July/August. The grass meadow should be cut back and mowing resumed in late summer.

Grassland which is not cut or grazed each year will eventually become coarse and tussocky in character. Grass swards that do not contain wild flowers can be selectively sprayed to control unwanted weeds such as docks and thistles. Wild flower seed can be added after the grasses have established and weed problems have been dealt with. The sward will need preparation for sowing into existing grass. Flower establishment will not be as good as compared with sowing the grasses and flowers together on to bare soil, as the grasses have a 'head start'. Generally, when sowing grasses without wild flowers the sowing rate may be increased to 10-15g/m² without compromising the development of diversity.

Timing-

Seeds need both warmth and moisture to grow and may be sown at any time of year when these conditions are met. August-September and March-April usually produce the best conditions for sowing outside in most parts of the UK. May to July sowings also work well in wetter western regions. Late autumn sowings should be avoided on sites prone to water-logging in winter and late spring and summer sowings should be avoided on droughty sites. Sowings into existing grass work best in autumn. Some plants need to be sown at particular times to fit in with their life cycles or biology. Cornfield Annuals need to be sown in the autumn or before May in the following spring to get a flowering display. Yellow rattle must be sown in autumn.

5.2.5 Species Rich Grassland and Wildflower Meadow Specification-

Wildflower plantings may include wildflowers, meadow mixtures, grasses, annuals, perennials, bulbs, or any combination of these.

The type and height of the proposed species must be appropriate to the specific region and adoption site. Most wildflower suppliers will provide custom mixtures for specific geographical areas.

Seed application/planting rates will vary depending on the types of wildflowers chosen. As a guide we recommend a general wildflower meadow mix and a cornfield annuals seed mix. This mixture will provide a suitable mix of 80% grasses to 20% wildflowers and sown at approximately 4 g/m².

The grass management programme during the first year is critical for success. During this season the vegetation should be cut down to 5-7 cm whenever the sward reaches 10-20 cm. The number of cuts required will depend on the soil's fertility and can range from 1 to 4. This cutting regime has the purpose of eliminating any annual weeds by not allowing them to flower.

5.2.6 A Guide for Subsequent Management Regimes-

There are a number of options for subsequent management, depending on soil fertility and the weather conditions in the individual seasons. The classic wild flower

meadow is a hay meadow with a cut taken in late July/early August and an aftermath cut in the autumn. The cuttings are removed, especially after the hay cut. This management regime aims to replicate the practice of taking hay in the summer and grazing the field over the winter.

If the soil is fertile, or the growing season is especially good, which would result in very strong grass growth swamping the wild flowers, lodging (falling over) and looking untidy in the summer, the management regime can be modified. One, and possibly two additional cuts (if the site is especially fertile) in the spring and early summer (i.e. April/May) can be introduced. Cutting at this time reduces the grass's vigour, results in a shorter sward and a later flowering.

The hay cut is taken in early August, when the cuttings must be removed, followed by an aftermath cut in the autumn. Spring Flowering meadows have their first cut taken in late June. A second cut can be made in late July/early August followed by an aftermath cut in the Autumn. This management regime encourages spring flowering wild flowers (e.g. Cowslips, Cuckoo flowers) and the shorter wild flowers (e.g. Birdsfoot Trefoil, Daisies and Selfheal) during the summer. Late Summer flowering meadows can be encouraged by only cutting in the autumn; but adding one or two spring cuts if especially fertile.

5.3 Scrub Management

5.3.1 Scrub, including hawthorn and blackthorn scrub and bramble scrub, is very valuable for a range of wildlife including breeding and nesting birds, invertebrates, reptiles and small mammals. Since scrub is a transitory habitat, it needs management to maintain it otherwise it will develop into woodland or can become invasive and reduce the biodiversity of the site;

- Where a stand of scrub does not attract a great variety of wildlife, the aim of managing the scrub should be to improve its value for wildlife. This can be done by increasing the variety of species and structure, encouraging natural regeneration and by rotational cutting to increase the age range within the scrub.
- It is proposed that the existing dense mature scrub habitat along the east edge of the site will need rotational cutting to promote a more varied age structure as well as targeted removal of encroaching scrub from open habitats where appropriate. Aim to create long edges to the scrub stands which are sunny and sheltered. Edges are particularly important for wildlife because they have flowering plants which provide continued nectar for invertebrates, fruits and seeds for birds and mammals, shelter and nest sites and hunting grounds for raptors.
- Management of mature stands of scrub to be achieved through rotational coppicing blocks of scrub and allowing them to re-grow, the scrub's characteristic thicket structure is rejuvenated and maintained. Scrub typically matures at about 15 years, so coppicing 1/15th every year, i.e. a 15-year rotation, is a good rule of thumb; alternatively cutting 2/15th every other year or 3/15th every third year. Where scrub is almost entirely composed of

bramble, the rotation will be shorter, between 5-6 years (i.e. a fifth or sixth each winter) to provide a mosaic of bramble at different stages of growth. In any event avoid cutting adjacent patches sequentially in order not to reduce reptile cover and foliage for invertebrates to feed on.

- Work on scrub is best carried out in the autumn/winter, ideally early February, and should never be done during the bird nesting season (March – August). Work on berry bearing scrub is best delayed until after December, leaving valuable autumn and winter fruits and seeds as food for wildlife.
- Brash cuttings will be used to create habitat piles within the scrub. Limit the number of piles and once these are established as part of the rotation, use the same locations in future years.

5.3.2 *Techniques to be used for managing scrub*

- Planting and sowing – for improvement natural regeneration should be encouraged but for quick results plant with whips of local provenance and from a sustainable source or translocated from within the site.
- Manual/machinery – for improvement, maintenance, reduction or eradication- Whether hand tools or large-scale machinery is used for scrub management will depend on the extent of the scrub and site ground conditions. It is important to use tools appropriate to the task and ground conditions, ranging from hand held tools, mower, chainsaw, to tractor-mounted hedge cutters or excavators. Where the surrounding habitat is fragile, for example herb -rich grassland or wet ground, machinery may not be feasible or advisable. Slash and burn may also be appropriate in certain areas although the risks to the reptile population are such that mechanical clearance will be preferable.
- Herbicides – for reduction or eradication- These can be used to help with eradication of scrub, by treating stumps to prevent re-growth. Careful consideration should be given to the methods of applying chemicals to avoid any adverse impacts on the surrounding wildlife. Hand held applicator sprayers or painting of stumps are targeted approaches with little impact on the surrounding wildlife and good long-term results. To be effective it generally needs to be done soon after cutting, before the stems callous over.

5.3.3 *Invasive species and weed control*

- Plants such as ragwort, docks and thistles can be a problem. A major contributing factor to the presence of such species is the amount of bare and disturbed ground. Invasive species such as bracken and bramble readily encroach into open areas of land where it can become too dominant.

5.4 Pond Creation

5.4.1 The pond in the east island is to be managed and enhanced to increase its value to amphibians and reptiles. As a general rule amphibians prefer ponds with the following characteristics;

- Surface area between 100 and 300m²
- Depth may vary; both deep (up to around 4m) and shallow ponds may be used
- Occasional drying out is not a problem, even if this means a total loss of that year's larvae; the pond should hold water throughout at least one summer in every 3 years
- Substantial cover of submerged and marginal vegetation
- Open areas to facilitate courtship behaviour
- Good populations of invertebrates and other amphibians, for prey
- Absence of shading on the south side
- Absence of fish and absence of low density of waterfowl

Profiling the bank of pond to provide slopes of about 45 degrees allows growth of emergent plants and provides feeding areas for waterfowl and their chicks. Consideration can be given to creating shallow scrapes at the ponds margins to create additional feeding habitat for waders.

5.4.2 Managing the habitat for amphibians and reptiles involves manipulation of both terrestrial and aquatic habitats. The terrestrial habitat is to have refuges and suitable areas for hibernation created. No fish to be stocked in the pond as these predate the eggs of amphibians.

5.4.3 Ponds require regular management by rotation to ensure they remain clear and fulfil their primary purpose. All successional stages have their attendant specialist plants and invertebrates; hence management should aim to provide every stage from recently cleared banks to those heavily choked with emergent vegetation. An understanding of the presence and distribution of scarce species is important so that their requirements can be accommodated in the management.

Sympathetic options for pond management include:

- Clearing alternate sides of the pond in each management period.
- Clearing the pond in sections; e.g. clear 10m lengths, with 10m between, alternate at each management period.

Frequency-

The length of the management rotation depends on factors such as aquatic vegetation, growth rates and water levels. Possible options for pond cleaning cycles are:

- light maintenance every year

- a two-year cycle, cutting half the pond banks each year, less frequent routine maintenance with targeted control of emergents more often as necessary
- radical cleaning and de-silting every 5-10 years as required

Highest species diversity of aquatic plants is most often associated with ponds managed every three to five years. Pond management should be undertaken in the late summer or early autumn:

- After plants have seeded
- After the bird breeding season but before winter visitors arrive
- When water levels are low

5.5 Retention of areas of bare ground (soil, sand and gravel)

It is proposed to retain areas of bare ground within the site, such as bunds, banks, ditch banks, tracks etc. Open patches of bare ground provide a valuable habitat mosaic within the surrounding habitats and feature early successional stages of vegetation.

Bare ground also heats up quickly in the sun providing ideal conditions for warmth-loving invertebrates and reptiles. Sand and gravel substrates are also valuable for aculeate hymenoptera (bees, wasps, ants etc.). Bare ground will eventually re-vegetate, open grassland swards will close up and coarse grasses and scrub will eventually dominate. This process can be re-set by re-profiling these areas of bare ground by creating scrapes to remove vegetation.

5.6 Invasive species and weed control

Plants such as ragwort, docks and thistles can be a problem. A major contributing factor to the presence of such species is the amount of bare and disturbed ground. This often arises from nutrient enrichment, over cutting/grazing, poaching, bonfire sites, or because a site has been reseeded in the past and contains a weed species seed bank (ragwort seed can remain dormant for up to 20 years). It is very important to ensure that there is a closed sward and this can be achieved by encouraging grasses to tiller.

Invasive species such as bracken, cherry laurel and rhododendron readily encroach into open areas of land where it can become too dominant and where present should be selectively removed to favour broadleaved, native species of trees and shrubs.

6.0 PROTECTED SPECIES

6.1 BIRDS-

SPECIES LEGISLATION-

Birds – all British birds, their nests and eggs (with certain exceptions) are protected under Section 1 of the Wildlife & Countryside Act 1981 as amended. This makes it an offence to:

- intentionally kill, injure or take any wild bird
- intentionally damage or destroy the nest of any wild bird while that nest is in use or being built
- intentionally take or destroy the egg of any wild bird
- possess or control any live or dead wild bird or any part of, or anything derived from a wild bird, or an egg or any part of the same.

DETAILED MITIGATION PLAN-

Birds – at present, the availability of nesting sites for birds is good as there are mature boundary trees, scrub, hedges of sufficient size or age to have nesting features. Landscaping by way of tree, shrub and hedge planting will provide additional nesting spaces in time but in the short term will be of limited value to birds. The following mitigation is to be implemented;

- The timing of scrub clearance, tree thinning/removal and grass cutting across the site will be sensitive to nesting birds. It is recommended that management works to scrub habitat which may be supporting nesting birds commence during the period between 15th September and end of February to avoid the main bird nesting season and to avoid potential disturbance to birds nesting within the area. May is a peak time for nesting birds, and deciduous trees and hedging bordering the site offers suitable breeding bird habitat.
- As new nests can be built at any time, it is recommended that any works within area of suitable nesting habitat be carried out under ecological supervision, or following a visual inspection. If this is not possible, then a nesting bird survey should be carried out by an experienced ecologist 24-48 hours prior to works. If during the survey an active nest is identified it must be left in-situ until the young have fledged and the nest has been abandoned. The site must be cleared during this period under the supervision of a suitably qualified ecologist (SQE).
- Once the clearance works commences birds are unlikely to start nesting within the working areas. However, in order to avoid accidental harm to nesting birds, a 10m buffer zone will be marked around any nest using high visibility fencing to ensure that the nest is not disturbed, damaged or destroyed whilst in use. Any such nest must be left undisturbed until the young have fledged.

- If any ground nesting birds are found to be nesting within or close to the working areas during the pre-inspection survey or clearance, a 25m standoff from the nest will be marked out using high visibility tape, within which no operational activity will be permitted until the breeding attempt concluded.
- On advice from the RSPB create 3 areas of habitat suitable as nesting areas for Turtle Doves which are now becoming rarer and are a UK/Suffolk BAP species. The site already has bordering stands of scrub, which Turtle Doves require (3 metres high and 4 metres wide) and these will be retained and managed accordingly and extended into the south-east corner of the site with Blackthorn and Hawthorn, supplemented with climbing plants such as traveller's joy (wild clematis), honeysuckle and bramble which are important for this species as is fresh open water because Turtle Doves are seed eaters. In addition, it is intended to put up many bird boxes on existing trees in the hope of attracting Tree Sparrows which also are becoming rare (see box specification below).
- Routine monitoring of bird populations at the site will take place, with an initial survey schedule of every 2 years for the first 4 years and every 3 years for the remaining 6 years of the 10-year management plan.
- To increase nesting opportunities generally, nest boxes will be installed. The box types should be designed for longevity and 'Weatherlite' boxes are recommended for most of them, in varying styles for differing species, which should be affixed to the mature scattered and boundary trees away from areas likely to be disturbed by people. This will total approximately 10 nest boxes which should be installed at heights sufficient to prevent predation with a south or south-east orientation.
- *Birds – nest boxes*: Installation of the nest boxes will be supervised by 'Eco-Check Ltd' or an experienced ecologist to ensure the correct positioning for each species. The types of nest boxes will cover a range of species as identified and will include:
 - Weatherlite bird boxes (32mm)
 - Weatherlite nest boxes (27mm)
 - Weatherlite wren roundhouse boxes
 - Weatherlite deep nest boxes for robins
 - Weatherlite general nest boxes
 - Schwegler No. 5 Owl boxes
 - Barn owl nest box
 - Woodpecker/Starling Nest Box

6.2 BATS-

Some of the mature boundary trees offer some opportunities for roosting bats such as fissures, cracks, rot holes, peeling bark etc. The site contains good bat foraging and commuting habitat for a range of bat species. Bat boxes on the mature trees would be likely used by roosting bats.

SPECIES LEGISLATION-

Bats- All species of British bat and their roosts are protected under British law by the Wildlife and Countryside Act 1994 (as amended), which is extended by the Countryside and Rights of Way Act 2000. Bats are classified as European Protected Species under the Conservation of Species and Habitats Regulations 2017. Together, the legislation makes it illegal to:

- Intentionally or deliberately kill, injure or capture (or take) bats;
- Deliberately disturb bats (whether in a roost or not);
- Recklessly disturb roosting bats or obstruct access to their roosts;
- Damage or destroy bat roosts;
- Possess or transport a bat or any part of a bat, unless acquired legally;
Sell, barter or exchange bats (dead or alive) or parts of bats.

DETAILED MITIGATION PLAN-

The felling of any unsafe or diseased trees must always be undertaken with extreme caution under the assumption that bats may be present. Trees due to be felled should always be checked for signs of bats prior to felling; this is particularly the case for standing deadwood. Signs of roosting bats may include tiny scratches and staining around entry point to roost, bat droppings in/around/below entrance and the smoothing of surfaces around the roost entrance although evidence of a tree bat roost is not always evident.

In the event that trees are required to be removed, those which provide potential roost opportunities must be felled at a time which avoids the summer (breeding season) and winter (hibernation season):

- Late August to early October is the optimum time to carry out work on trees with bat roost potential as young bats are on the wing and the hibernation season has not yet commenced. However, consideration should be given to the presence of late breeding birds before trees are removed as breeding birds are protected under the Wildlife and Countryside Act 1981 (as amended).
- March or April is also a suitable time to carry out work on trees with bat roost potential, as bats are starting to move out of their winter hibernacula yet have not set up maternity roosts yet. Again, consideration for nesting birds should be given.
- Felling of trees with bat roost potential should be undertaken under the supervision of a suitably qualified ecologist. After the ecologist has checked the tree, it should be felled in stages, with branches lopped off individually rather than felling at the trunk. The trunk should then be felled in sections. The felled branches and sections of trunk should be carefully laid on the ground

making sure that any holes or crevices are not blocked and are facing downwards so rain water cannot enter, but also positioned to enable any bats present to easily vacate the crevice. Branches and trunk sections should be left in place for 48 hours to allow any bats to vacate prior to their removal.

- A suitable buffer zone should be placed around potential bat roost features and/or any of the proposed bat boxes to prevent disturbance.

Bat Mitigation Measures: Foraging and Commuting Habitat-

The protection of flight lines is extremely important in maintaining the ability of bats to access roosts and foraging areas. Due the number of linear features running around the periphery of the site it is not anticipated that any foraging or commuting routes will be bisected.

The proposed wildlife area will result in minimal loss of trees, hedges or other linear features and so foraging and commuting routes are unlikely to be impacted. The proposed hedges, trees, shrubs, pond etc. to be crated within the site will create additional foraging areas and offset any habitat loss. To encourage bats to use the boundary flight lines, any lighting should be kept to an absolute minimum or designed such that its impact is reduced (See Section Lighting). The proposal is for low wattage, solar downlighters installed at ground level to provide safety for pedestrians and at the same time minimise disturbance to nocturnal species.

Tree and hedge planting should be connected with existing linear flight lines on the site such as hedges, pond and trees to maintain connectivity. Tree planting should reflect the species currently present. It should include native species such as oak (*Quercus robur*). Native hedge planting will include blackthorn (*Prunus spinosa*), hawthorn (*Crataegus monogyna*) and spindle (*Euonymus europaeus*) and should include occasional fast-growing standards such as wild cherry (*Prunus avium*) or field maple (*Acer campestre*). Planting strongly-scented flowering plants, such as honeysuckle (*Lonicera periclymenum*) and sweet briar (*Rosa rubiginosa*) will attract insects which would benefit foraging bats.

Bat Mitigation Measures: Roosting Habitat

New bat roosting resources will be introduced to the site. This will take the form of 5 bat boxes which will include;

- Weatherlite Pentagon Bat Box
- Weatherlite Kent Box
- Weatherlite double chamber box
- 1 '1FW' Bat Hibernation Box
- 1 'Schwegler 1WQ' summer and winter roost box

These boxes are to be installed on the mature boundary trees around the site margins at a sufficient height to prevent ground predation. The boxes will ideally be on each elevation to provide the best variation in temperature, shelter and flight lines. If only one elevation is used this should be south-east facing as this provides the most shelter and warmth.

Monitoring and Management-

The bat boxes will be installed and maintained by the licensed bat ecologist (LBE) and maintained for a minimum of five years post construction.

The bat boxes will be checked and maintained where necessary on a yearly basis, to include a check for any roosting bats or signs of bat activity. If a bat box has not been utilised within the first 3 years it will be moved and installed in a different location, utilising any additional data from bat surveys to identify the optimal placement.

In order to prevent a potential breach in wildlife legislation, works close to, or to trees that support features of high or moderate potential to support a bat roost should be avoided and lighting should not directly light potential roost entrances.

Bat Mitigation Measures: Lighting-

Any new external lights will be set on a motion detector and positioned in such a way that they do not shine on the boundary habitats, tree canopies or hedges. Low intensity lighting should be used where possible in place of high intensity discharge or sodium lamps, this will minimize disturbance to foraging and commuting bats.

In accordance with the Bat Conservation Trust's publication *Bats and artificial lighting* (BCT, 2018) light pollution by artificial lighting will be kept to a minimum and light spillage avoided. The following specific mitigation will be put in place to minimize disturbance to bats caused by the lighting of the site. The following mitigation strategies have been taken from Bat Conservation Trust Landscape and Urban Design for Bats and Biodiversity (Gunnell et al., 2012) and other referenced sources:

- Minimise light spill by eliminating any bare bulbs and upward pointing light fixtures. The spread of light should be kept near to or below the horizontal plane, by using as steep a downward angle as possible and/or shield hood. Flat, cut-off lanterns are best;
- Use light sources that emit minimal ultra-violet light (van Langevelde and Feta, 2001) and avoid the white and blue wavelengths of the light spectrum, so as to avoid attracting insects and thus potentially reducing numbers in adjacent areas;
- Limiting the height of lighting columns to eight metres and increase the spacing of lighting columns (Fure, 2006) can reduce the spill of light into unwanted areas;
- Avoid using reflective surfaces under lights or light reflecting off windows (e.g. on to trees);
- Only the minimum amount of light needed for safety and access should be used and or turned off when the site is not in use;
- Artificial lighting proposals should not directly illuminate boundary habitats, which may be of value to foraging or commuting bats and birds (e.g. green corridors);

- Lighting that is required for security reasons should use a lamp of no greater than 2000 lumens (150 Watts) and be PIR sensor activated, to ensure that the lights are not on only when required (Jones, 2000; Collins, 2016);

6.3 HERPETOFAUNA- AMPHIBIANS AND REPTILES-

The site contains a good mosaic of terrestrial habitats that are of value to amphibians and reptiles comprising hedges, scrub, ditches, banks, open basking areas, tall ruderal vegetation, brash, wood piles etc. In the event that herpetofauna are found to be present work must cease and mitigation measures must be undertaken. If any reptiles or great crested newts are encountered within working areas then a European Protected Species mitigation license may be required from Natural England. This must be carried out on the advice of a suitably qualified herpetologist.

SPECIES LEGISLATION-

Herpetofauna- Native species of herpetofauna are protected solely under Schedule 5 of the Wildlife & Countryside Act 1981 (as amended). Species such as the adder *Vipera berus*, grass snake *Natrix natrix*, common lizard *Zootoca vivipara* and slowworm *Anguis fragilis* are listed in respect to Section 9(1) & (5). For these species, it is prohibited to:

- Intentionally (or recklessly in Scotland) kill or injure these species
- Sell, offer or expose for sale, possess or transport for purpose of sale these species, or any part thereof.

DETAILED MITIGATION PLAN-

- An understanding of reptile biology can help to ensure that any problems for reptiles that could arise from habitat management are avoided or minimised. Key points are:
 - Reptiles often favour mid-successional habitats and interfaces or ecotones can be important reptile habitat e.g. between scrub and rough grassland.
 - They need warmth, connectivity of habitat patches and varied topography/south facing slopes, abundant prey and cover from predators
 - Most have quite limited dispersal abilities
 - Large scale damage or loss of vegetation can be catastrophic to local populations of reptiles
 - Reptiles can show high fidelity to small habitat patches. They hibernate from October/November onwards and can emerge as early as February in warm conditions
 - The outcome of habitat management is important. Providing suitable habitat in the long term may mitigate for short term harm to individuals during management actions

- Management principals to adopt where reptiles are likely to be present:
 - Identify and map reptile foci and treat these areas carefully with management specifically tailored for reptiles. These may be areas with favourable topography, diverse habitat structure rich in prey etc.
 - Identify and map communal hibernacula and avoid damage to them during management
 - Try to keep south facing aspects open but with a mosaic of scrub and taller vegetation nearby
 - Areas of non-intervention are valuable to reptiles, especially in low nutrient status zones where vegetation growth is likely to be slow
 - Timing of works is crucial to minimise harm to reptiles
 - Winter is the best time for surface tree/shrub clearance (Nov-Feb) but leaving a hibernation site completely devoid of cover makes emerging animals vulnerable to predation

It is important to strike a balance between potential harm to individual reptiles and considering the wider needs of reptile populations as well as taking into account other site interest features

Management Timetable for Reptile Habitats Adapted from the Reptile Management Handbook:

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mowing												
Scrub/tree work												
Bracken cutting												
Stump treatment												

Dark green = most effective/least damaging time for management

Light green = work may be less effective and/or requires more care to avoid disturbance

Mitigation for great crested newts and other amphibians normally comprises the following elements:

- Habitat creation, restoration or enhancement – to provide receptor areas for displaced amphibians, in compensation for areas to be lost or damaged
- Avoidance of disturbance, killing or injury – taking all reasonable steps to ensure works do not harm individuals, by altering working methods or timing to avoid newts; capture and removal; exclusion to prevent newts entering development areas
- Long-term habitat management and maintenance – to ensure the population will persist
- Post-development population monitoring – to assess the success of the scheme and to inform management or remedial operations.

Timing of Works;

- Removal of trees, scrub and any hedgerow sections and grubbing up roots to facilitate works as well as clearance of timber piles etc. should be timed to avoid the newt hibernation period (October to March inclusive);
- Piles of rubble, brash and timber represent ideal hibernacula for common lizards and snakes which generally begin hibernation between the final week of October and early November, depending on local weather conditions and temperatures. These habitats should not be disturbed during the winter months when herpetofauna are hibernating and therefore vulnerable;
- Strimming or cutting of tall vegetation, scrub and grassland within the construction areas and clearance of potential refuges should be undertaken on a warm (above 13°C), dry day with little wind. In this way herpetofauna are less likely to be in terrestrial refuges where they may be at risk of harm and are also more active at this time and so could escape harm's way. Vegetation should be cut to no less than 150mm on the first cut starting at the centre of the site working out towards the edges to allow any wildlife to disperse. After 48 hours the site may be cleared to ground level.
- Any piles of spoil (brash, logs or rubble) which are created during the course of site works should be immediately burned, removed from the site or ring-fenced in the event that they are to remain on site for any length of time. These measures will ensure that no hibernating animals are killed or injured during the winter period (November to March) when they are too sluggish to escape machinery.

Advance Works;

The following works are recommended to be implemented prior to any clearance and construction activities:

- An area of land containing features of value to amphibians and reptiles, within the boundary of the site and around the wildlife pond will be identified for biodiversity enhancement. The pond management should follow the specification as outlined under Section 5.4 to maximise its value to amphibians and other wildlife.
- Prior to the clearance of any potential reptile, amphibian and mammal refuge sites (including any rubble, sheeting, mud and leaf/vegetation piles), two new habitat/hibernaculum piles/banks will be created. These can be created at any time of year and will provide potential refuge sites on which any animals found during clearance works can be placed. The habitat piles should be created following the guidelines provided below (**Habitat Creation**) and be built in a location where the habitat/hibernaculum piles could remain unharmed throughout the proposed works and in to the future. The shape of the habitat piles/banks is not important but each should cover an area of approximately 4m². The location of these areas is marked on the masterplan in Appendix 2;

- A check of any potential refuges or hibernaculum (wood piles, rubble piles, brush, sheet materials, building materials, grass cuttings etc.) within the working areas will be undertaken immediately prior to works commencing and prior to cutting any potential herpetofauna habitat such as rank grassland, tall ruderal, scrub etc. The grassland and tall ruderal vegetation within and surrounding the working areas will be searched and then strimmed to no less than 150mm height on a warm (above 13°C), dry day with little wind and maintained at a short sward in order to discourage amphibians and reptiles for the duration of the construction period;
- Any herpetofauna found will be trans-located by the SQE into suitable receptor habitat as previously identified within the wildlife pond area or habitat/ hibernaculum piles. The supervision will continue until the SQE is satisfied that no herpetofauna are present;
- In the unlikely event that significant numbers of amphibians or reptiles were discovered, works would need to stop until the situation has been further assessed, and if necessary, a mitigation strategy developed and an application made for a site licence;
- All site workers will be briefed as to the possibility of protected species being present, the significance of their presence, the statutory protection they are afforded, where they are likely to be encountered, identification features, and what to do if any are found during works.

Habitat/Hibernaculum Pile Construction

The following guidelines are taken from the Great Crested Newt Conservation Handbook (Langton, T.E.S *et al.*, 2001) but were considered to be equally successful at providing potential refuge habitat for widespread reptiles:

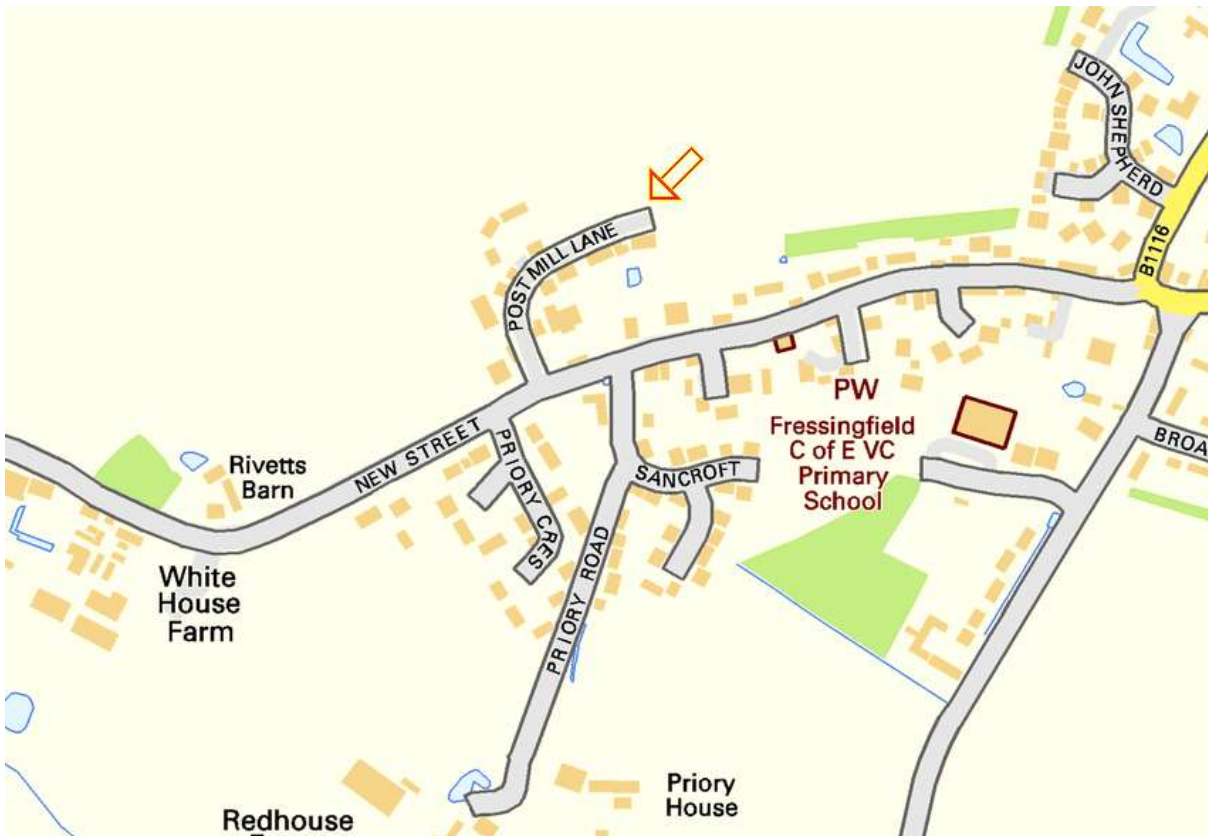
- habitat piles/hibernaculum should be located on the marginal habitats away from the proposed public access areas;
- for the habitat/hibernaculum piles, dig a hole approximately 50cm deep covering an area of approximately 2m², preferably south facing;
- for the habitat/hibernaculum bank, dig a trench approximately 50cm deep, 2m wide and approximately 10m in length so that it covers an area of approximately 20m²;
- create a layer of stone, rubble and wood on the floor of the dug hole;
- continue to add to the pile using soil from site excavation to spread over and between stones, rubble and wood;
- stone, rock, clean brick rubble (without cement residues) and old or misfired bricks can be used with split logs or fallen wood;
- cover the edges of the bricks with paving slabs or large pieces of concrete to create gaps that allow reptiles into the mound. Cover these in a thin layer of soil and brush, taking care not to block off any gaps.

7.0 COMPLIANCE

PERSONS RESPONSIBLE FOR;

- **Compliance with legal consents relating to nature conservation** – 'Eco-Check Ltd' in cooperation with land owner C.E Davidson and appointed contractors.
- **Compliance with planning conditions relating to nature conservation** – Land owner, contractors and ecologist
- **Implementation of sensitive working practices during site management** – Site manager and contractors/employees.
- **Implementation of the Management Plan** – Land owner in cooperation with ecologist to perform annual check of compliance with management plan. This should include a walkover of the site by the ecologist, to provide technical support in the continual management of the site. The purpose is to review the success of management regimes, suggesting alterations and improvements.

APPENDIX 1



Site Location Plan- Streetmap 2015



Proposed wildlife conservation area

Land Registry
Official copy of
title plan

Title number SK358961
Ordnance Survey map reference TM2577SE
Scale 1:1250 enlarged from 1:2500
Administrative area Suffolk: Mid Suffolk



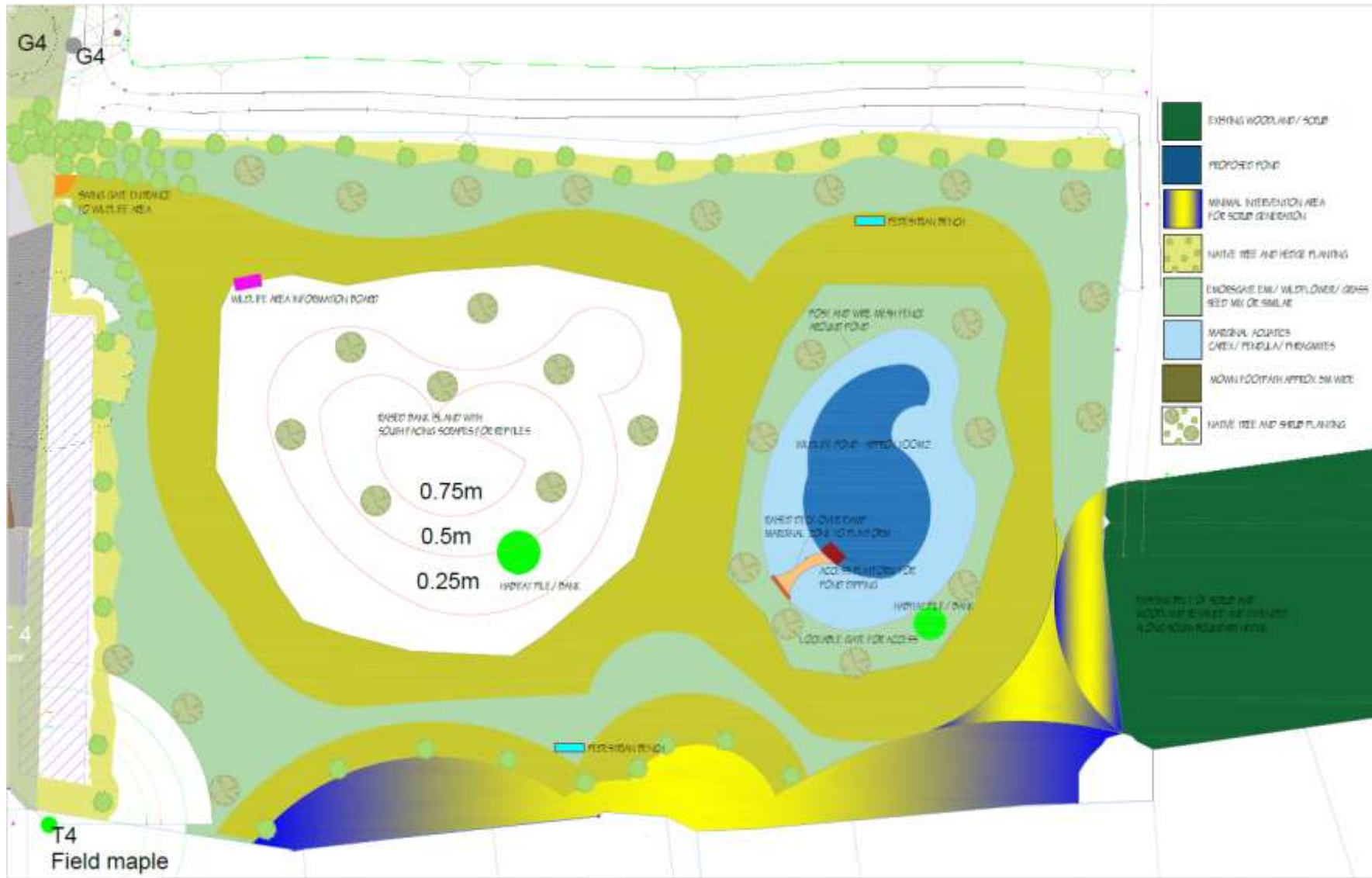
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This official copy issued on 2 March 2015 shows the state of this title plan on 2 March 2015 at 17:12:02. It is admissible in evidence to the same extent as the original (s.67 Land Registration Act 2002).
This title plan shows the general position, not the exact line, of the boundaries. It may be subject to distortions in scale. Measurements scaled from this plan may not match measurements between the same points on the ground.
This title is dealt with by Land Registry, Kingston upon Hull Office.

Extent of Proposed Wildlife Conservation Area

APPENDIX 2- Management Areas and Timetable- Plan 1st July 2020



Proposed 10-year management plan timetable- To be confirmed pending planning approval

Areas A										
Operation	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029

Areas B										
Operation	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029

Areas C										
Operation	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029

Areas D										
Operation	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029

Areas E										
Operation	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029

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Table 6.1 Guidance on the optimal timing for carrying out specialist ecological surveys and mitigation

This is not definitive and is intended to provide an indication only. The timing of surveys and animal activity will be dependent on factors such as weather conditions. Please consult the *species briefing sheets* for more detailed information, including species distribution.

KEY	
	Recommended survey time
	No surveys
	Mitigation conducted at these times
	Mitigation works restricted

- * Where survey techniques involve the capture, handling or disturbance of *protected species* then only licensed persons can undertake surveys; personal *survey and monitoring* licences are obtained from English Nature, Countryside Council for Wales, Environment and Heritage Service (NI) or Scottish Natural Heritage
- ** Where mitigation involves the killing, capture, injury and/or disturbance of *protected species* and/or the damage, destruction or obstruction of their *habitats*, a *development licence* must be obtained from the Department for Food and Rural Affairs (England), Scottish Executive's Environment and Rural Affairs Department, Welsh Assembly (Countryside Division) or the Environment and Heritage Service Northern Ireland. Licences will be granted only to persons who have proven competence in dealing with the species concerned. Development licence applications

take approximately 30 days to be processed by government departments. Where mitigation works need to be conducted under licence *before* works begin, licence applications will need to be submitted considerably earlier.

		Licence required?	J	F	M	A	M	J	J	A	S	O	N	D	
Habitats / vegetation	Surveys	N	Mosses and lichens. No other detailed plant surveys – Phase 1 surveys only (least suitable time)			Detailed habitat assessment surveys Surveys for higher plants and ferns Mosses and lichens in April, May and September only						Mosses and lichens. No other detailed plant surveys – Phase 1 surveys only (least suitable time)			
	Mitigation	N	Planting and translocation		No mitigation for majority of species						Planting and translocation				
Birds	Surveys	N	Winter birds		Breeding birds / migrant species			Breeding birds		Breeding birds / migrant species			Winter birds		
	Mitigation	N	Clearance works may be conducted at this time, but must stop immediately if any nesting birds are found		No clearance or construction works Bird nesting season						Clearance works may be conducted at this time, but must stop immediately if any nesting birds are found				
Badgers	Surveys	*	All survey methods – best time is in spring and early autumn / winter												
	Mitigation	**	Building of artificial setts No disturbance of existing setts						Stopping up or destruction of existing setts					See Jan to June	
Bats	Surveys	*	Inspection of hibernation, tree and building roosts			No surveys		Activity surveys and inspection of building roosts. Emergence counts.				No surveys		Inspection of hibernation, tree and building roosts	
	Mitigation	**	Works on maternity roosts		Works on maternity roosts until mid-May. Works on hibernation roosts from mid-March			Works on hibernation roosts only			Hibernation roosts until November. Maternity roosts from mid-September		Works on maternity roosts only		

Table 6.1 Guidance on the optimal timing for carrying out specialist ecological surveys and mitigation (continued)

		Licence required?	J	F	M	A	M	J	J	A	S	O	N	D
Dormice	Surveys	*	Nut searches (sub-optimum time)		Nest searches (April sub-optimum time)		Cage traps and hair tube surveys to mid-October Nut searches from September (optimum time September to December) Nest searches (optimum time September to March)						Nut searches and nest searches (optimum time)	
	Mitigation	**	No clearance works				Clearance works (sub-optimum time)	No clearance works			Clearance works to early October (optimum time)		No clearance works	
Otters	Surveys	*	Surveys for otters can potentially be conducted all year round, though vegetation cover and weather conditions may limit the times at which surveys can be carried out.											
	Mitigation	**	Mitigation can potentially be conducted in any month, but is likely to be restricted where otters are found to be breeding											
Pine martens	Surveys	*	Surveys may be conducted all year round weather permitting Optimum time is spring and summer. Surveys for breeding dens from March to May.											
	Mitigation	**	Works in areas of pine marten habitat and dens		Avoid all works in pine marten habitat								Works in areas of pine marten habitat and dens	
Red squirrels	Surveys	*	Surveys may be conducted all year round weather permitting Optimum time is spring and summer. Surveys for breeding females from December to September.											
	Mitigation	**	Avoid all works in red squirrel habitat									Works should preferably be conducted at this time		Avoid all works in red squirrel habitat
Water voles (n/a in NI)	Surveys	*	Reduced activity	Initial surveys possible	All survey methods can be used during this period, though vegetation cover and weather conditions may limit the times at which surveys can be carried out. (Optimum time: March to June)						Initial surveys possible	Reduced activity		
	Mitigation	N ²	Avoid all works in water vole habitat			Works in water voles habitat possible	Avoid all works in water vole habitat			Works in water vole habitat possible	Avoid all works in water vole habitat			
Sand lizards, smooth snakes (n/a in NI) and common lizards	Surveys	*	No surveys – reptiles in hibernation		Activity surveys from March to June and in September / October. Surveys are limited by high temperatures during July and August. Peak survey months are April, May and September.						No surveys – reptiles in hibernation			
	Mitigation	**	Scrub clearance		Capture and translocation programmes can only be conducted whilst reptiles are active (March to June and September / October). Trapping is limited by high temperatures during July / August. Scrub clearance						Scrub clearance			

² The extent of legal protection of the water vole is currently under review; it has been proposed to fully protect water voles, as well as their habitats.

Table 6.1 Guidance on the optimal timing for carrying out specialist ecological surveys and mitigation (continued)


		Licence required?	J	F	M	A	M	J	J	A	S	O	N	D
Other reptiles	Surveys	N	No surveys – reptiles in hibernation	Activity surveys from March to June and in September / October. Surveys are limited by high temperatures during July and August. Peak survey months are April, May and September.										No surveys – reptiles in hibernation
	Mitigation	N	Scrub clearance	Capture and translocation programmes can only be conducted whilst reptiles are active (March to June and September / October). Trapping is limited by high temperatures during July / August. Scrub clearance										Scrub clearance
Great crested newts (n/a in NI)	Surveys	*	No surveys – newts in hibernation	Pond surveys for adults: mid-March to mid-June. Surveys must include visits undertaken between mid-April and mid-May. Egg surveys April to mid-June. Larvae surveys from mid-May. Terrestrial habitat surveys				Larvae surveys to mid-August. Terrestrial habitat surveys		Terrestrial habitat surveys		No surveys – newts in hibernation		
	Mitigation	**	No trapping of newts. Pond management only	Newt trapping programmes in ponds and on land				Newt trapping on land only				No trapping of newts. Pond management only		
Natterjack toads	Surveys	*	No surveys - toads in hibernation		Surveys of breeding ponds for adults. Surveys for tadpoles from May onwards. Surveys for adults on land				Surveys for adults on land.		No surveys – toads in hibernation			
	Mitigation	**	Pond management works		Trapping of adults in ponds from April to July. Trapping of adults on land. Trapping of tadpoles from May to early September				Pond management works					
White-clawed crayfish	Surveys	*	Reduced activity		Surveys can be undertaken	Avoid surveys (females are releasing young)		Optimum time for surveys				Reduced activity		
	Mitigation	***	Avoid capture programmes (low activity levels may lead to animals being easily missed)		Exclusion of crayfish from construction areas.	Avoid capture programmes		Exclusion of crayfish from construction areas.				Avoid capture programmes (low activity levels may lead to animals being easily missed)		
Fish	Surveys	*	For coastal, river and stream-dwelling species, the timing of surveys will depend on the migration pattern of the species concerned. Where surveys require information on breeding, the timing of surveys will need to coincide with the breeding period, which may be summer or winter months, depending on the species.											
	Mitigation	**	Mitigation for the protection of watercourses is required at all times of year. Mitigation for particular fish species will need to be timed so as to avoid the breeding season. This varies from species to species.											

*** Where mitigation involves the capture of white-clawed crayfish, a mitigation licence must be obtained from English Nature, Countryside Council for Wales, Environment and Heritage Service (NI) or Scottish Natural Heritage. Licences will be granted only to persons who have proven competence in dealing with the species concerned.

Habitat Protection


Where retained habitat is adjacent an area of development, what should you do?

- An exclusion zone should be put in place consisting of barriers separating construction activities from wildlife areas.
- No polluting materials should be used near rivers.
- Care should be taken to prevent the introduction or spread of invasive plants such as Japanese Knotweed or Giant Hogweed.
- Keep out wildlife exclusion zone' signs to be secured to barriers.



Trees and Hedgerows

- The contractor should follow the specific requirements of the Local Authority in relation to Tree Preservation Orders.
- Trees should be fenced off by no less than the width of the canopy spread until all development work is complete.
- Do not use a tree for external fixtures or fittings.
- Nothing should be stored against the trunks of trees.
- There should be no change in soil depth within 2m of the trunks, unless it has been approved by an arboriculturist.
- Site Compounds should be erected outside of the tree canopy.



Phased Clearance In Relation to Reptiles and Amphibians

- Any site clearance should be undertaken in a phased and controlled manner and under ecological supervision. This gives a chance to reptiles and amphibians to move out the way to somewhere safe before a site is cleared.
- All clearance work should be undertaken during April - August in order to coincide with the reptile and amphibian active seasonal period and should be undertaken within a temperature range of 16°C - 24°C.
- Strim grass to a height of 100mm and the cut material to be hand raked to the sides of the area. All strimming should commence in the centre of the site working outwards towards the periphery of the development footprint to where the habitat is to be retained.

Wildlife & Construction

Best Practice Guidance



Protected Species

Birds and their Nests

- All species of wild bird in the UK are protected during the breeding season.
- They are protected against intentional killing, injuring or taking, damaging or destroying nests in use or being built, and taking or destroying eggs.
- Birds can nest in places, such as scrub, hedgerows, trees, in or on buildings, ledges, cliffs and on the ground, depending on the species. In the UK they typically build their nests and lay their eggs between March and the end of July.

What if you find a bird nesting on site?

- All works in the area must stop until the birds have completed breeding.
- An exclusion zone around the nest's area should be put up by an ecologist.
- DO NOT** undertake scrub clearance during the bird-nesting season (March - end of July) if at all possible.
- DO NOT** undertake scrub clearance during the bird-nesting season without an experienced ecologist being present.

Reptiles

- Reptiles are protected, which makes it an offence to intentionally and recklessly kill, injure or take any species of reptile.

Where are they found?

- Grass snake, slow worm and common lizard are fairly widespread and may be found within dense vegetation on sites that are directly next to open areas of rubble / rocks and / or short grassland.

Clearance works should be undertaken in a phased manner and supervised by an ecologist.

What to do if you find a reptile?

- STOP!** If you think you have found a reptile on site, stop all works and consult an ecologist immediately.




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Amphibians

- Amphibian species include the common toad, common frog, smooth (or common) newt and palmate newt, there is also the fully protected great crested newt.
- Common amphibians are protected, which makes it an offence to intentionally and recklessly kill, injure or take them. Great crested newts are further protected for disturbance and/or damaging or obstructing their habits.

Where are they found?

- Amphibians can be found in or near ponds or other water bodies on development sites, including temporary pools. Most amphibians will hibernate on land during the winter months.

What should you do if you find an amphibian and are unsure of the identity?

- STOP!** and consult an ecologist immediately.
- STOP!** if you think you have found a great crested newt on site and consult an ecologist immediately.

Bats and their Roosts

- All bat species and their roosts are protected. It is an offence to intentionally kill, injure or take a bat. It is also an offence to intentionally or recklessly damage, destroy or obstruct access to any place that a bat uses for shelter or protection (even if bats are not currently present).

Places you may find them?

- Holes, and cracks in trees, in roofs and walls of houses and buildings, under bridges, in underground caves or old railway tunnels. Every building and mature tree is a potential bat roost.

Things to look out for?

- Below bat roost entrances: Dark stains on walls, tree trunks or bat droppings on the ground.
- Bat droppings are dark brown or black and about half a centimetre long - they crumble when crushed.

What should you do if you think you have found a bat roost?

- STOP!** all works in the area and contact an Ecologist immediately.





Wildlife and Construction Best Practice Guidance



BIRDS AND THEIR NESTS

- All species of wild bird in the UK are protected during the breeding season.
- They are protected against intentional killing, injuring or taking, damaging or destroying nests in use or being built, and taking or destroying eggs.
- Birds can nest in places, such as scrub, hedgerows, trees, in or on buildings, ledges, cliffs and on the ground, depending on the species. In the UK they typically build their nests and lay their eggs between March and the end of July.
- What if you find a bird nesting on site?
- All works in the area must stop until the birds have completed breeding.
- An exclusion zone around the nest/s area should be put up by an ecologist.
- **DO NOT** undertake scrub clearance during the bird-nesting season (March – end of August) if at all possible.
- **DO NOT** undertake scrub clearance during the bird-nesting season without an experienced ecological being present.



HABITAT PROTECTION

- Where retained habitat is adjacent an area of development, what should you do?
- An exclusion zone should be put in place consisting of barriers separating construction activities from wildlife areas.
- No polluting materials should be used near rivers.
- 'Keep out wildlife exclusion zone' signs to be secured to barriers.



REPTILES AND AMPHIBIANS

- Reptiles and amphibians are protected, which makes it an offence to intentionally and recklessly kill, injure or take any species of reptile.
- Amphibians can be found in or near ponds or other water bodies on development sites, including temporary pools. Most amphibians will hibernate on land during the winter months.
- What should you do if you find an amphibian or reptile and are unsure of the identity?
- Reptiles and amphibians are fairly widespread and may be found within dense vegetation on sites that are directly next to open areas of rubble / rocks and / or short grassland.
- Clearance works should be undertaken in a phased manor and supervised by an ecologist.
- **STOP!** if you think you have found a reptile or amphibian on site, stop all works and consult an ecologist immediately.

TREES AND HEDGEROWS

- Trees should be fenced off by no less than the width of the canopy spread until all development work is complete.
- Do not use a tree for external fixtures or fittings.
- Nothing should be stored against the trunks of trees.
- There should be no change in soil depth within 2m of the trunks, unless it has been approved by an arboriculturist.
- Site Compounds should be erected outside of the tree canopy.



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Species	Status	Use of scrub habitats
Hedgehog	Common	Favours areas where there is a mosaic of grassland, woodland, scrub and hedgerow. Uses scrub for daytime cover and hibernation sites, eg under bramble or brushwood.
Bat spp	Generally declining	When feeding, bats depend on habitat mosaics and habitat corridors that connect feeding and roosting areas. Mature, structured scrub may be beneficial in this respect.
Rabbit	Common and widespread	Uses low dense scrub as refuge cover to which to retreat from grassy feeding areas. The bark and shoots of many scrub and tree species are eaten, which may have detrimental or beneficial effects depending on circumstances. Avoids eating Elder.
Bank Vole	Common and widespread	Favours deciduous woodland and thick scrub. Climbing actively, it eats fruits, seeds and leaves of woody plants. May strip bark of Elder bushes.
Wood Mouse	Common and widespread	Favours woodland and scrub, living in runways below the litter but actively climbing to feed on fruits, nuts, buds and seedlings.
Dormice	Local, mainly SE England	Favours species-rich scrub, hedgerow and woodland, especially with coppice. The diet is primarily fruit, nuts, flowers and buds; a diverse range of scrub is required to provide food through the seasons. Hazelnuts, acorns and chestnuts are important prior to hibernation. Honeysuckle bark is used in nest construction. An agile climber, spending most time above ground, connectivity of scrub is important.
		
<small>Dormouse. John Robinson/English Nature</small>		
Fox	Common and widespread	May use scrub for shelter and lying-up sites.
Badger	Common and widespread	Setts mostly located within woodland, scrub or hedgerows etc, usually close to grassland feeding areas. An omnivorous diet includes fruit and nuts.
Otter	Frequent in Scotland, Wales, N and W England. Local but increasing elsewhere	May use scrub adjacent or close to rivers etc for shelter and lying-up sites.
Deer	Most species increasing in numbers and distribution.	Most species favour dense scrub for shelter. Most will also eat fruit, nuts, bark, leaves and buds of shrubs and deciduous trees, causing variable levels of damage and often preventing regeneration. Holly is favoured by Red and Sika Deer, Bramble by Roe and Muntjac Deer, but all have a wide diet.

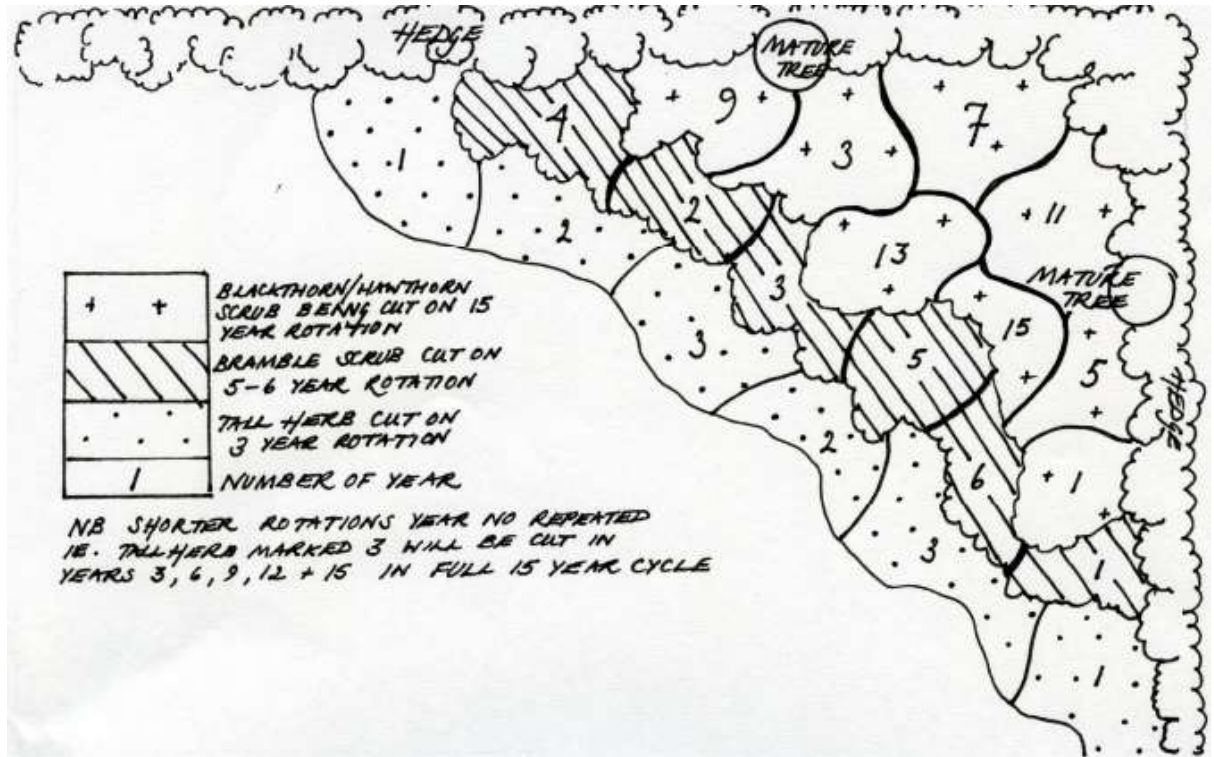


Figure 2- Example of proposed management regime and rotational cutting

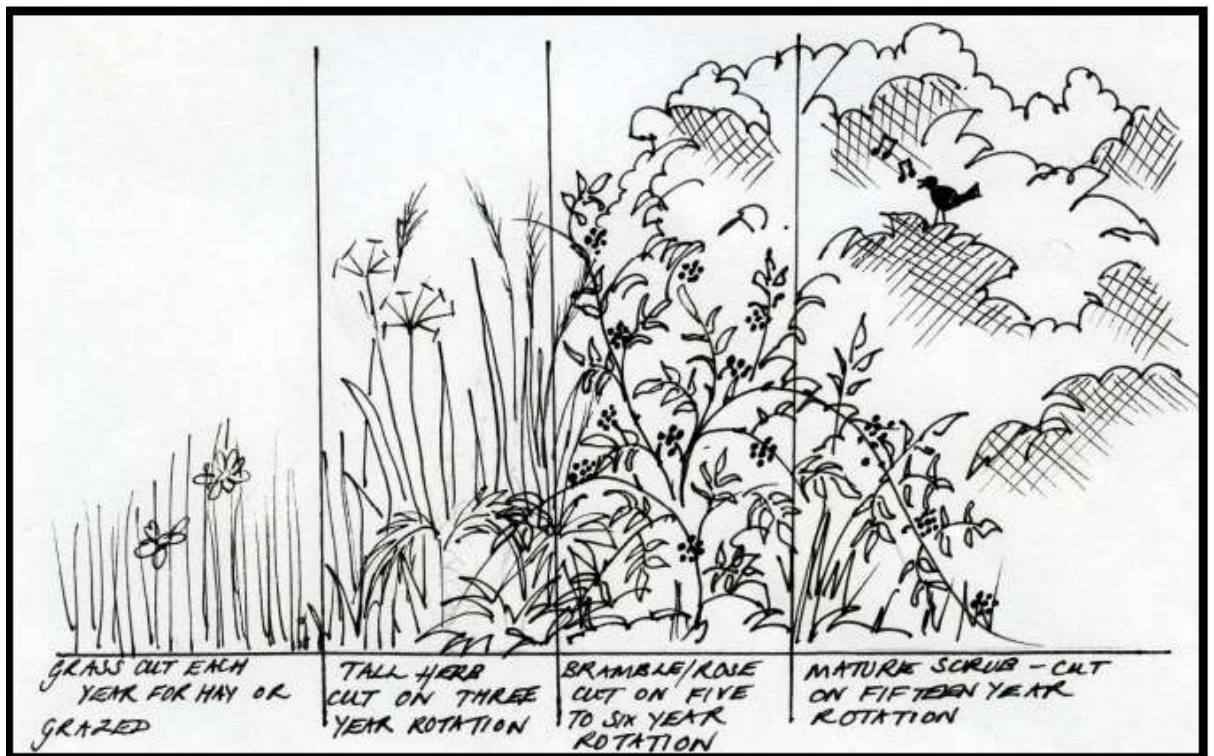


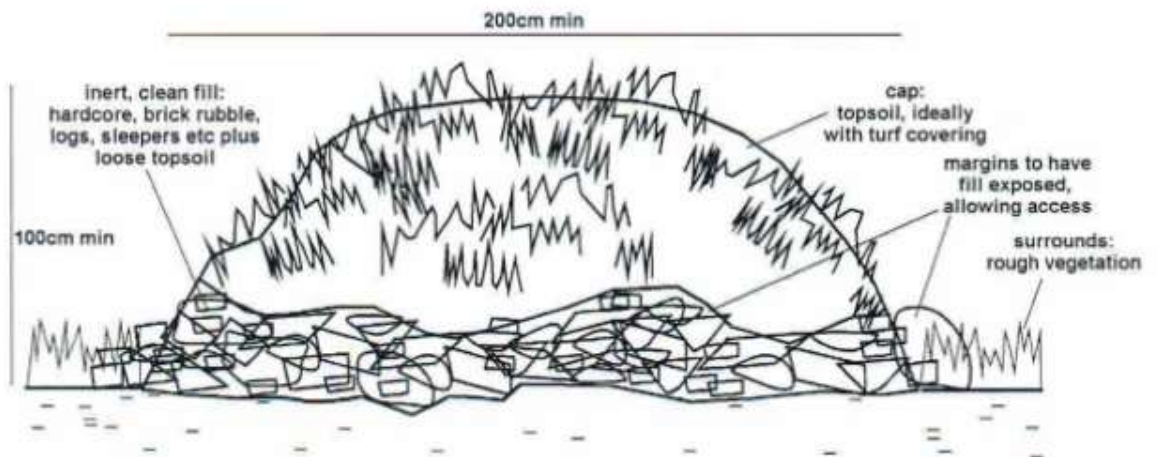
Figure 3- Example of proposed management regime and rotational cutting

Habitat/Hibernaculum Pile Construction

The following guidelines are taken from the Great Crested Newt Conservation Handbook (Langton, T.E.S *et al.*, 2001) but were considered to be equally successful at providing potential refuge habitat for widespread reptiles:

- habitat piles/hibernaculum should be located on the marginal habitats away from the proposed areas of ground works;
- for the first two habitat/hibernaculum piles, dig a hole approximately 50cm deep covering an area of approximately 4m², preferably with one longer side facing south;
- for the habitat/hibernaculum bank, dig a trench approximately 50cm deep, 2m wide and approximately 10m in length so that it covers an area of approximately 20m²;
- create a layer of stone, rubble and wood on the floor of the dug hole;
- continue to add to the pile using soil from site excavation to spread over and between stones, rubble and wood;
- stone, rock, clean brick rubble (without cement residues) and old or misfired bricks can be used with split logs or fallen wood;
- cover the edges of the bricks with paving slabs or large pieces of concrete to create gaps that allow reptiles into the mound. Cover these in a thin layer of soil and brash, taking care not to block off any gaps.

This design mimics artificial and natural conditions in which great crested newts have frequently been found over-wintering. Dimensions should not be below 2m length x 1m width x 1m height. The illustrated design would be suitable for locating on an impermeable substrate. On free-draining substrates, the design is largely similar but the bulk of the fill is sited in an excavated depression in the ground. Hibernacula should ideally be positioned across a site, both close to and distant from breeding ponds, always in suitable terrestrial habitat and above the flood-line.



Source: English Nature (2001) *Great Crested Newt Mitigation Guidelines*, Peterborough.

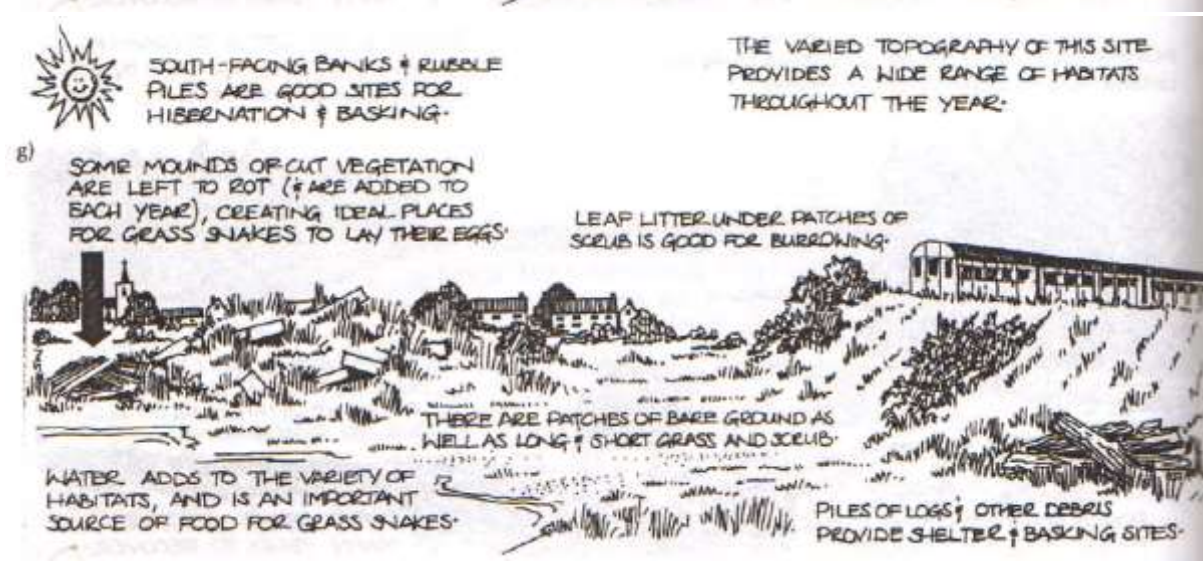
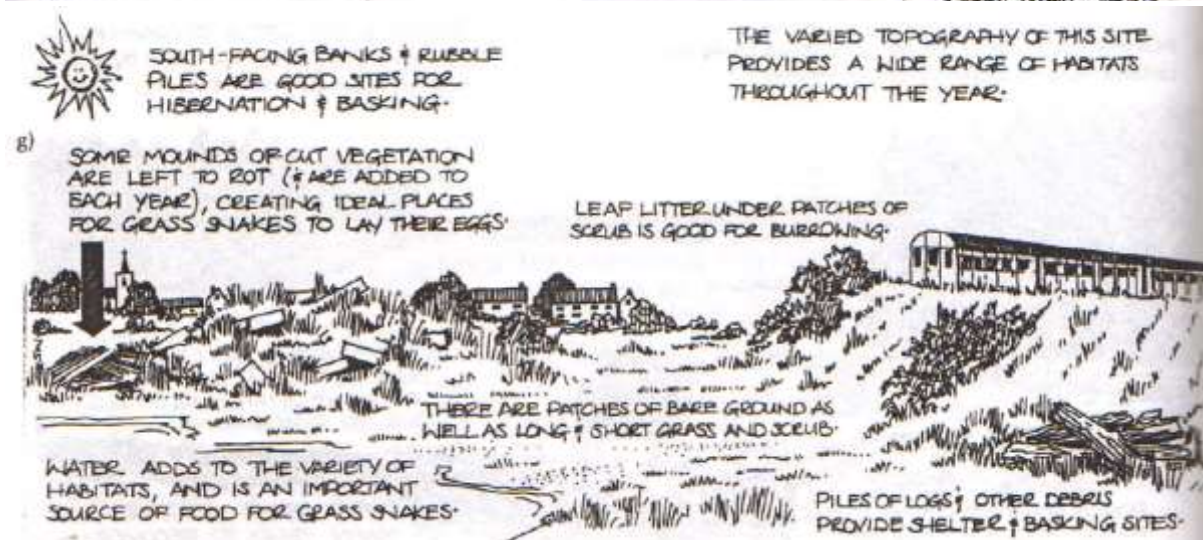
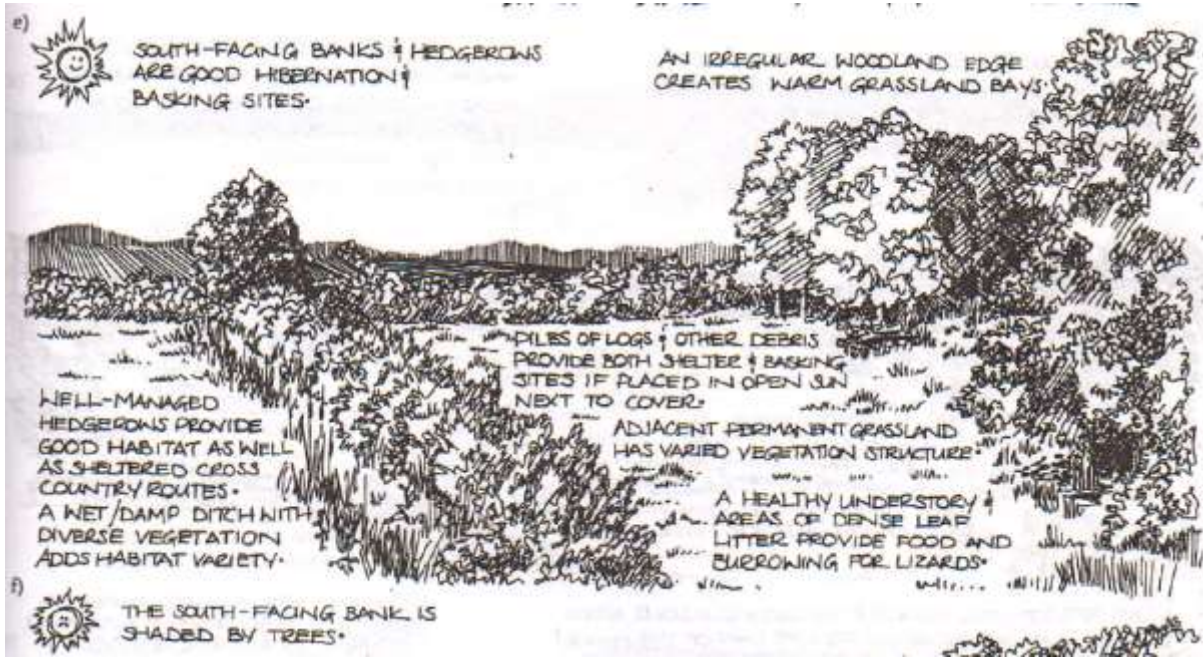


Illustration of positive landscape and habitat features for reptiles and amphibians

APPENDIX 3- SIMPLIFIED SUMMARY OF RELEVANT ECOLOGICAL LEGISLATION

Species	Legislation	Offences	Licensing procedures and guidance
Bats <i>European protected species</i>	Conservation of Habitats and Species Regulations 2010 (as amended) Reg 41	Deliberately ¹ capture, injure or kill a bat; deliberate disturbance ² of bats; or damage or destroy a breeding site or resting place used by a bat. [The protection of bat roosts is considered to apply regardless of whether bats are present.]	A Natural England (NE) licence in respect of development is required. Guidance documents: <i>NE Standing Advice for protected species 2013</i> <i>European Protected Species: Mitigation Licensing- How to get a licence</i> (NE 2013) <i>Bat Mitigation Guidelines</i> (English Nature 2004) <i>Bat Workers Manual</i> (JNCC 2004)
	Wildlife and Countryside Act 1981 (as amended) S.9	Intentionally or recklessly obstruct access to any structure or place used for shelter or protection or disturb ³ a bat in such a place.	Licence from NE is required for surveys (scientific purposes) that would involve disturbance of bats or entering a known or suspected roost site.
Badger	Protection of Badgers Act 1992 (as amended)	Wilfully kill, injure or take a badger; or intentionally or recklessly damage, destroy or obstruct access to a badger sett or disturb a badger in its sett. [It is not illegal to carry out disturbance activities in the vicinity of setts that are not occupied.]	Where required, licences for development activities involving disturbance or sett interference or closure are issued by Natural England (NE). Licences for activities involving watercourse maintenance, drainage works or flood defences are issued under a separate process. Licences are normally not granted from December to June inclusive because cubs may be present within setts. Guidance documents: <i>NE Standing Advice for protected species 2013</i> <i>Badgers & Development</i> (NE 2007)

Species	Legislation	Offences	Licensing procedures and guidance
Birds	Wildlife and Countryside Act 1981 (as amended) S.1	Intentionally kill, injure or take any wild bird; intentionally take, damage or destroy the nest of any wild bird while that nest is in use or being built; intentionally take or destroy the nest or eggs of any wild bird. [Special penalties are liable for these offences involving birds on Schedule 1 (e.g. most birds of prey, kingfisher, barn owl, black redstart, little ringed plover).] Intentionally or recklessly disturb a Schedule 1 species while it is building a nest or is in, on or near a nest containing eggs or young; intentionally or recklessly disturb dependent young of such a species.	No licences are available to disturb any birds in regard to development. Licences are available in certain circumstances to damage or destroy nests, but these only apply to the list of licensable activities in the Act and do not cover development. General licences are available in respect of 'pest species' but only for certain very specific purposes e.g. public health, public safety, air safety. Guidance documents: <i>NE Standing Advice for protected species 2013</i>
Great crested newt <i>European protected species</i>	Conservation of Habitats and Species Regulations 2010 (as amended) Reg 41	Deliberately ¹ capture, injure or kill a great crested newt; deliberate disturbance ² of a great crested newt; deliberately take or destroy its eggs; or damage or destroy a breeding site or resting place used by a great crested newt.	Licences issued for development by Natural England. Guidance documents: <i>NE Standing Advice for protected species 2013</i> <i>European Protected Species: Mitigation Licensing- How to get a licence</i> (NE 2013) <i>Great Crested Newt Mitigation Guidelines</i> (English Nature 2001)
	Wildlife and Countryside Act 1981 (as amended) S.9	Intentionally or recklessly obstruct access to any structure or place used for shelter or protection or disturb ³ a great crested newt in such a place.	Licences issued for science (survey), education and conservation by Natural England.
Adder Common lizard Grass snake Slow worm	Wildlife and Countryside Act 1981 S.9(1) and S.9(5)	Intentionally kill or injure any common reptile species.	No licence is required. However an assessment for the potential of a site to support reptiles should be undertaken prior to any development works which have potential to affect these animals. Guidance documents: <i>NE Standing Advice for protected species 2013</i>

Species	Legislation	Offences	Licensing procedures and guidance
Plants <i>All plants</i>	Wildlife and Countryside Act 1981 S.13	To uproot any wild plant without authorisation.	No licence is required. The land owner's permission is required.
Plants <i>Invasive species e.g. Japanese knotweed, hybrid knotweed, giant knotweed, giant hogweed, rhododendron, Himalayan balsam</i>	Wildlife and Countryside Act 1981 S.14	It is illegal to plant or otherwise cause to grow in the wild these species.	Any contaminated soil or plant material is classified as controlled waste and should be disposed of in a suitably licensed landfill site, accompanied by appropriate Waste Transfer documentation, and must comply with section 34 of the Environmental Protection Act 1990. Guidance documents: The Knotweed Code of Practice (Environment Agency, 2013 version 3) Managing Invasive Non-native Plants (Environment Agency 2010) Guidance on Section 14 of the Wildlife and Countryside Act, 1981 (Defra 2010)

¹Deliberate capture or killing is taken to include "accepting the possibility" of such capture or killing

²Deliberate disturbance of animals includes in particular any disturbance which is likely a) to impair their ability (i) to survive, to breed or reproduce, or to rear or nurture their young, or (ii) in the case of animals of hibernating or migratory species, to hibernate or migrate; or b) to affect significantly the local distribution or abundance of the species to which they belong.

³Lower levels of disturbance not covered by the Conservation of Habitats and Species Regulations 2010 remain an offence under the Wildlife and Countryside Act 1981 although a defence is available where such actions are the incidental result of a lawful activity that could not reasonably be avoided.

Site Designation	Legislation	Protection	Guidance
Special Area of Conservation (SAC) Special Protection Area (SPA) Wetland of International Importance (Ramsar site)	<p>Conservation of Habitats and Species Regulations 2010 (as amended)</p> <p>EC Directive on the conservation of natural habitats and of wild fauna and flora (92/42/EEC).</p> <p>EC Directive on the conservation of wild birds (79/409/EEC).</p> <p>Convention on Wetlands of International Importance especially as Waterfowl Habitat 1971 (the Ramsar Convention).</p>	<p>Planning controls are effected through Part 2 of the Conservation of Habitats and Species regulations 2010 (Reg 21) and Part 6 (Regs 61- 67).</p> <p>The legislation for the Site of Special Scientific Interest which will underpin each designation also applies.</p> <p>These sites are given protection through policies in the Local Development Plan.</p>	<p>Formal Appropriate Assessment is required before undertaking, or giving consent, permission or other authorisation for a plan or project which is likely to have a significant effect on such a site.</p> <p>Guidance documents: The <i>National Planning Policy Framework</i> (Department for Communities and Local Government, March 2012), with particular reference to Policy 11. The Government Circular: <i>Biodiversity and Geological Conservation - Statutory Obligations and their Impact within the Planning System</i> (ODPM Circular 6/2005 & Defra Circular 01/2005) (the joint Circular).</p>
Site of Special Scientific Interest (SSSI)	Wildlife and Countryside Act 1981 (as amended)	<p>It is an offence to carry out or permit to be carried out any potentially damaging operation.</p> <p>SSSIs are given protection through policies in the Local Development Plan.</p>	<p>Owners, occupiers, public bodies and statutory undertakers must give notice and obtain the appropriate consent under S.28 before undertaking operations likely to damage a SSSI.</p> <p>S.28G places a duty on all public bodies to further the conservation and enhancement of SSSIs.</p> <p>Guidance documents: The <i>National Planning Policy Framework</i> (Department for Communities and Local Government, March 2012), with particular reference to Policy 11, and the joint Circular.</p>
Local Nature Reserve (LNR)	National Parks and Access to the Countryside Act 1949 S.21	LNRs are given protection through policies in the Local Development Plan.	<p>LNRs are generally owned and managed by local authorities.</p> <p>Development proposals that would potentially affect a LNR would need to provide a detailed justification for the work, an assessment of likely impacts, together with proposals for mitigation and restoration of habitats lost or damaged.</p> <p>Guidance documents: The <i>National Planning Policy Framework</i> (Department for Communities and Local Government, March 2012), with particular reference to Policy 11, and the joint Circular.</p>
Local Sites (e.g. LWS)	There is no statutory designation for local sites.	Local sites are given protection through policies in the Local Development Plan.	Development proposals that would potentially affect a local site would need to provide a detailed justification for the work, an assessment of likely impacts, together with proposals for mitigation and restoration of habitats lost or damaged.

Habitats & Species	Legislation (England & Wales)	Guidance
Species and Habitats of Principal Importance for the Conservation of Biodiversity	Natural Environment & Rural Communities Act 2006 S.40 (which superseded S.74 of the Countryside & Rights of Way Act 2000).	<p>S.40 of the NERC Act 2006 sets out the duty for public authorities to conserve biodiversity in England and Wales. Habitats and species of principal importance for the conservation of biodiversity are identified by the Secretaries of State for England and Wales, in consultation with NE and CCW, are referred to in S.41 of the NERC Act for England and S.42 for Wales. The list of habitats and species was updated in 2008:</p> <p>England: http://www.ukbap-reporting.org.uk/news/details.asp?x=45</p> <p>Wales: http://www.biodiversitywales.org.uk/wales_biodiversity_partnership_documents-134.aspx</p> <p>The habitats and species listed are not necessarily of higher biodiversity value, but they may be in decline. Habitat Action Plans and Species Action Plans are written for them or are in preparation, to guide their conservation. Ecological impact assessments should include an assessment of the likely impacts to these habitats and species.</p>
Biodiversity Action Plan (BAP) Habitats & Species	No specific legislation, unless it is also a species or habitat of principal importance as described above.	<p>The Biodiversity Action Plan (BAP) is the UK's initiative to maintain and enhance biodiversity in response to the Convention on Biological Diversity signed in 1992.</p> <p>The original BAP list of species and habitats, prepared over 10 years ago, was used to form the new list of species and habitats of principal importance. However some of the species have been taken off the new list and additional species and habitats have been included.</p>

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Agenda Item 7d

Committee Report

Item 7D

Reference: DC/20/01697

Case Officer: Daniel Cameron

Ward: Stradbroke & Laxfield.

Ward Member/s: Cllr Julie Flatman.

RECOMMENDATION – GRANT PLANNING PERMISSION

Description of Development

Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.

Location

Barley Brigg Farm, Laxfield Road, Stradbroke, Eye Suffolk IP21 5NQ

Expiry Date: 12/11/2020

Application Type: FUL - Full Planning Application

Development Type: Major Small Scale - All Other

Applicant: Rattlerow Farms Ltd

Agent: Parker Planning Services Ltd.

Parish: Stradbroke

Site Area: 5.12ha

Density of Development: N/A

Details of Previous Committee / Resolutions and any member site visit: None

Has a Committee Call In request been received from a Council Member (Appendix 1): No

Has the application been subject to Pre-Application Advice: No

PART ONE – REASON FOR REFERENCE TO COMMITTEE

The application is referred to committee for the following reason:

The Head of Economy considers the application to be of a controversial nature having regard to the planning reasoning expressed by the Parish Council.

PART TWO – POLICIES AND CONSULTATION SUMMARY

Summary of Policies

NPPF - National Planning Policy Framework
NPPG-National Planning Policy Guidance
CS01 - Settlement Hierarchy
CS02 - Development in the Countryside & Countryside Villages
CS03 - Reduce Contributions to Climate Change
CS04 - Adapting to Climate Change
CS05 - Mid Suffolk's Environment
GP01 - Design and layout of development
CL08 - Protecting wildlife habitats
CL13 - Siting and design of agricultural buildings
CL14 - Use of materials for agricultural buildings and structures
CL17 - Principles for farm diversification
T10 - Highway Considerations in Development
HB14 - Ensuring archaeological remains are not destroyed

Neighbourhood Plan Status

This application site is the Neighbourhood Plan Area for Stradbroke

The Neighbourhood Plan is currently at:-

Stage 7: Adoption by LPA

Accordingly, the Neighbourhood Plan has full material weight in planning decisions.

Consultations and Representations

During the course of the application Consultation and Representations from third parties have been received. These are summarised below.

A: Summary of Consultations

Town/Parish Council (Appendix 3)

Stradbroke Parish Council

The Parish Council OBJECTS to this application on procedural grounds of jurisdiction and comments that this application should be determined by Suffolk County Council. Further objections are noted on ecological and land use grounds given concerns that the operation of the heat array may give rise to significant vehicle movements to and from the site as well as the possibility that the incorrect use of the heat array will not allow for agricultural uses of the site to continue. Attention is also drawn to whether the heat array would be utilised for the drying of crops or waste products from other sites, which may be an industrial planning use.

Wilby Parish

The closure date for responses to the application falls outside the scheduled meetings of council. The details of the application having been circulated, Councillors do not consider that the nature and extent of the proposals merits a special meeting for their consideration and accordingly council is content for the application to be determined by the Planning Authority consistent with the relevant planning policies.

National Consultee (Appendix 4)

Natural England

Natural England has no comments to make on this application.

County Council Responses (Appendix 5)

Archaeological Service

The proposed development site lies in an area of archaeological potential recorded on the County Historic Environment Record. Cropmarks, finds and a documentary record for a Medieval Market (SBK 056), from the wider vicinity, indicate potential for Medieval and earlier occupation. Given the nature of the development, installation of underground 'Ground Source Heat Array', groundworks associated with the development have the potential to damage or destroy any archaeological remains which exist.

There are no grounds to consider refusal of permission to achieve preservation in situ of any important heritage assets. However, in accordance with the National Planning Policy Framework, any permission granted should be the subject of a planning condition to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed.

Highways

Suffolk County Council as the Local Highway Authority offer no objections to the proposed development.

Minerals And Waste

Notice is hereby given that the County Council as Minerals and Waste Authority make the following comments:

Thank you for consulting Suffolk County Council on the above application. The County Council raise no objection to the proposals but wish to make the following comments.

- The site sits outside a 'Minerals safeguarding zone' so no action would need to be taken in the safeguarding of potential minerals on the site.
- The site sits south west of a 'safeguarded waste site' on which is located an Anaerobic Digestion plant (MS/3892/15) with storage areas and a lagoon related to the AD plant.
- The proposed ground source heat array will draw some heat from the AD plant to be used alongside the ground source heat array for the drying of crops in the barn, this will require machinery to be erected on hard standing to a corner of the AD plan but it is felt that this will not affect/ disrupt the function of the safeguarded waste facility.
- It is asked that the Case Officer takes the AD site into consideration when determining this application and give focus to Policy WP18: safeguarding of waste management sites, Suffolk minerals and waste local plan submission draft 2018, policy carried forward from the waste core strategy 2011.

Internal Consultee Responses (Appendix 6)

Ecology - Place Services

No objection subject to ecological mitigation and enhancement measures.

Summary

We have reviewed the Preliminary Ecological Appraisal (Parker Planning Services Ltd, April 2020) relating to the likely impacts of development on designated sites, Protected and Priority Species & Habitats.

We are satisfied that there is sufficient ecological information available for determination. This provides certainty for the LPA of the likely impacts on designated sites, Protected and Priority Species & Habitats and, with appropriate mitigation measures secured, the development can be made acceptable.

The mitigation measures identified in the Preliminary Ecological Appraisal (Parker Planning Services Ltd, April 2020) should be secured and implemented in full. This is necessary to conserve Protected and Priority Species.

Furthermore, we agree that the development will we not result in a net loss for biodiversity. However, we recommend that reasonable biodiversity enhancement should be delivered to secure measurable net gains for biodiversity, as outlined under Paragraph 170d of the National Planning Policy Framework 2019. The biodiversity enhancement measures contained within the Preliminary Ecological Appraisal (Parker Planning Services Ltd, April 2020) should be outlined within a Biodiversity Enhancement Strategy, to be secured as a condition of any consent.

Environmental Health - Noise/Odour/Light/Smoke

Having reviewed the submitted noise impact assessment, I note that this is 5 years old and therefore not current. The report is for an anaerobic digester and not for the heat recovery plant proposed. Having said this I also have regard to the comment in the report dated 2015 which states that the noisiest item of equipment is the CHP plant and this dictates noise levels at distances greater than 50 m from the site. I also note the Sharps Gayler Technical Note dated 7.7.2017 relating to condition 6 and 7 of the previous planning permission MS/3892/15.

The noise levels at the monitored positions, although within the levels set in condition 7 were close to the limit of 35dB LAeq.

In an email from the Agent on 16th September 2020 he proposes the following as a condition as a way of controlling the noise levels and to keep them in line with those previously imposed on this site:

"In fact if it helps, please consider applying a planning condition(s) which echo those on the county site-wide permission and along these lines:

Condition: Prior to commissioning of the heat exchanger, plant testing and noise monitoring shall be undertaken at the 'assessed dwellings' identified in the Sharps Acoustics report of 28th August 2015 - an approved document of County Council planning permission MS/3892/15. In the event that predicted noise levels are breached further measures to limit noise shall be submitted to and approved by the LPA prior to commissioning of the heat exchanger.

Then:

Condition: Noise from the heat exchanger must not exceed 35dB LAeq at each of the positions indicated on the County Council approved plan 'MS/3892/15 Barley Brigg Farm AD - Proposed Noise monitoring positions"

The new application refers to a bank of 4 fans within a container, each fan having a sound pressure level at 3 metres of 87dBA. I am concerned that this new noise source could potentially cause the levels to exceed those previously conditioned for this site.

I would however, be satisfied with conditions being imposed but the proposed conditions are modified so that the assessment and levels are based on both the existing AD plant and the proposed new plant running together at full capacity to ensure that these levels are not breached.

Environmental Health - Sustainability Issues

Many thanks for your request to comment on the sustainability aspects of this proposal. I have no objection or comment to make.

B: Representations

At the time of writing this report at least one letters/emails/online comments have been received. It is the officer opinion that this represents one objection to the proposed development. A verbal update shall be provided as necessary.

Views are summarised below:

- Concern over noise pollution as well as light pollution.
- Concern over associated vehicle movements with the heat array.

(Note: All individual representations are counted and considered. Repeated and/or additional communication from a single individual will be counted as one representation.)

PLANNING HISTORY

REF: DC/19/01673	Planning Application - Erection of agricultural crop drying building	DECISION: GTD 27.06.2019
REF: DC/19/02087	Application for Prior Notification of Agricultural or Forestry Development(proposed building) Town and Country Planning, General Permitted Development Order 2015, Schedule 2, Part 6. - Erection of building for crop drying.	DECISION: FAN 28.05.2019
REF: DC/19/03234	Non Material Amendment to DC/19/01673 - Addition of condition (restriction on output of ground source heat pumps)	DECISION: GTD 17.07.2019
REF: DC/19/03469	Discharge of Conditions application for DC/19/01673 - Condition 8 (Agreement of hours of use)	DECISION: GTD 04.09.2019
REF: DC/20/00411	Regulation 3 Suffolk County Council Consultation. Replacement of Existing Office Cabins and Stationing of additional 4no Units	DECISION: RNO 10.02.2020
REF: DC/20/01030	Application to Determine if Prior Approval is required for a proposed -Erection, Extension or Alteration of Building for Agricultural or Forestry Use. Town and Country (General Permitted Development)(England) Order 2015 (as amended) Schedule 2, Part 6 Class A/B/E	DECISION: FAN 25.03.2020
REF: DC/20/01697	Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.	DECISION: PDE

REF: DC/20/03432	Consultation request for Removal of Condition 15 from application MS/3892/15	DECISION: 02.09.2020
REF: 1837/17	Erection of an agriculture store building.	DECISION: GTD 23.11.2017
REF: 0337/17	Erection of two storey Managers Unit for bio-gas Plan Employee. design to match existing unit at site entrance.	DECISION: ECP 13.02.2017
REF: 0446/17	New arable store and extended concrete apron in accordance with initial sketch	DECISION: ECP 13.02.2017
REF: 3076/15	Notification of Screening Opinion: Anaerobic Digester Plant.	DECISION: REC
REF: 3892/15	Anaerobic digestion plant, associated infrastructure and use of existing agricultural lagoons.	DECISION: RNO 15.12.2015
REF: 0394/14	Change of use of land for the siting of mobile home.	DECISION: GTD 12.05.2014
REF: 3379/12	Environment Permit - Proposal Unknown	DECISION: REC
REF: 3219/12	Proposed Anaerobic Digester Plant	DECISION: GTD 02.01.2013

PART THREE – ASSESSMENT OF APPLICATION

1. The Site and Surroundings

- 1.1 Barley Brigg Farm is located to the north of the B1117 as it travels east out of Stradbroke towards Laxfield. It is located within the countryside and aerial photography clearly demonstrates the surrounding character of the wider area as agricultural with large, open field patterns apparent with hedgerows interspersed with mature trees serving as the boundaries between fields.
- 1.2 Barley Brigg Farm itself is clustered around a series of agricultural buildings and two biogas reactors located to the immediate north of the application site, while an existing drying barn is located to the immediate west. The site at present forms part of an existing agricultural field.
- 1.3 Previous development on site secured planning permission (1837/17) for the erection of an agricultural store incorporating a straw burner to generate electricity and heat to be used in the process of drying. It is understood that this permission has been implemented on the site.

2. The Proposal

- 2.1 This application proposes the installation of a ground source heat array at Barley Brigg Farm and is associated with intention to provide a heat source for the drying of crops on the site. Development would consist of the following items:
- 40mm polypipe heat transfer pipes buried underground to a depth of 1.2m and laid in parallel rows.
 - Installation of rectangular heat exchanger unit on existing concrete pad close to the AD plant in order to make use of waste heat produced by the plant.
- 2.2 Given that application 1837/17 has been implemented on site, further applications will be required before any connection to the heat exchanger and heat array can be made to allow a barn on site to function as a drying barn. Conditions attached to 1837/17 explicitly prevent this use within the barn currently being built out on site, while implementation of this planning permission prevents the implementation of the specifically designed drying barn on site approved under reference DC/19/01673 as they utilise the same location on the Barley Brigg site.

3. The Principle of Development

- 3.1 The starting point for any planning decision is the development plan, as identified in Section 38(6) of the Planning and Compulsory Purchase Act 2004. Determination of any application must be made in accordance with the plan unless material considerations indicate otherwise. A key material consideration regarding the principle of development is the National Planning Policy Framework (NPPF) 2019.
- 3.2 The NPPF requires the approval of proposals that accord with an up to date development plan without delay, or where there are no policies, or the policies which are most important are out of date, granting permission unless the NPPF policies provide a clear reason for refusal, or adverse impacts of doing so would demonstrably outweigh the benefits. The age of policies itself does not cause them to cease to be part of the development plan or become “out of date” as identified in paragraph 213 of the NPPF. It states that: “existing policies should not be considered out-of-date simply because they were adopted or made prior to the publication of this Framework. Due weight should be given to them, according to their degree of consistency with this Framework (the closer the policies in the plan to the policies in the Framework, the greater the weight that may be given).”
- 3.3 With direct regard to the NPPF, paragraph 83 states that planning decisions should enable the development and diversification of agricultural and other land-based rural businesses.
- 3.4 For the purposes of Core Strategy policies CS1 and CS2, the site is located in the countryside which is not unsurprising for an agricultural business. CS2 explicitly recognises this allowing for agriculture and renewable energy projects to be undertaken within the countryside.
- 3.5 Core Strategy policies CS3 and CS4 also combine to provide support for applications that would reduce contributions to climate change and adapt to the challenges presented by climate change. In this respect the proposed heat array would make use of a renewable heat source from the ground source heat array while the heat exchanger would utilise what is otherwise waste heat from the AD plant. CS4 also raises requirements with regards to potential pollution arising from the proposed development that will be explored further within the report below.
- 3.6 Local Plan policy CL17 which speaks to farm diversification is directly applicable. Provided that the proposed development can be shown to be compatible with the protection of the surrounding countryside and would not involve the permanent loss of agricultural land or lead to excessive traffic generation from the site.

4. Site Access, Parking and Highway Safety Considerations

- 4.1 Policy T10 of the Local Plan requires the Local Planning Authority to consider a number of highway matters when determining planning applications, including; the provision of safe access, the safe and free flow of traffic and pedestrian safety, safe capacity of the road network and the provision of adequate parking and turning for vehicles. Policy T10 is a general transport policy which is generally consistent with Section 9 of the NPPF on promoting sustainable transport, and therefore is afforded considerable weight.
- 4.2 Policy STRAD13 of the Stradbroke Neighbourhood Plan is similarly positively weighted. This policy requires that sufficient off-street parking is available to users of a given site and that the proposed activities will not result in significant increases in heavy goods vehicles in the vicinity of the application site.
- 4.3 With regards to the two policies noted above, no alteration of the access to the site or the parking provided within it are brought forward with the current application. Consultation with the Highways Authority has not resulted in any objection to the proposed development or noted that the current access and parking arrangements on site are in need of improvement.
- 4.4 With regards to the movement of heavy goods vehicles to and from the site it is considered that an increase in vehicle movements would occur as a result of the bringing equipment to site and implementing the development, however, this would be short term issue and, once development was completed be removed from the surrounding highway such that the only vehicle movements associated with the development would be for occasional maintenance which would not require additional heavy goods vehicle movements. In this regard it is considered that the provisions of policy STRAD13 are not breached.

5. Design and Layout

- 5.1 The majority of the development proposed would be buried to a depth of 1.2m in order to generate heat with the ground above still available for agricultural uses such that there should be no alteration in terms of the visual character of the site.
- 5.2 The heat exchanger unit is designed so as to mimic a shipping container and would be positioned close to the existing AD plant which appears as a group of large and unusually shaped buildings in any case. It is not considered that the placement of the heat exchanger unit would detract from the appearance of the site, especially considering it is to be painted green to better blend with the countryside location.

6. Landscape Impact, Trees, Ecology, Biodiversity and Protected Species

- 6.1 Policy CS5 of the Core Strategy seeks to protect and conserve landscape qualities taking into account the natural environment and the historical dimension of the landscape as a whole rather than concentrating solely on selected areas, protecting the District's most important components and encouraging development that is consistent with conserving its overall character. However, blanket protection for the natural or historic environment as espoused by Policy CS5 is not consistent with the Framework and is afforded limited weight.

- 6.2 Paragraph 109 of the NPPF states that the planning system should contribute to and enhance the natural and local environment by protecting and enhancing valued landscapes, geological conservation interests and soils.
- 6.3 No trees are proposed to be removed from the site as a result of the development and no alteration of the current landscape character of the site should be retained. Comments from the Parish Council note the capability for improper use of the ground source heat array to affect the soil quality and therefore ability to be used for agricultural purposes, however, provided the site is operated in the correct manner, the risk of this occurring is low.
- 6.4 With regards to ecology, comments from Place Services note that there is no objection to the ecology surveys and planned enhancement works proposed within the application and only recommends that they are secured by means of planning conditions.

7. Land Contamination, Flood Risk, Drainage and Waste

- 7.1 No sources of contamination are known to affect the Barley Brigg site and sufficient controls are in place should contamination be discovered as a result of development. Further, consultation with Suffolk County Council as the Waste and Minerals Authority has confirmed no risk to mineral safeguarding sites as a result of the development. Policy WP18 mentioned in their consultation response seeks to ensure that development in close proximity to a waste management site, such as the AD plant at Barley Brigg Farm not prejudice the operation of that facility. It is not considered that this policy is breached by the proposed development.
- 7.2 The application site is located in Flood Zone 1 at the lowest level of flood risk from pluvial or fluvial sources. The application itself would not alter the ability of the land to absorb water as there would be no change to the land utilised for ground source heat array and the heat exchanger unit is already non-permeable.

8. Heritage Issues

- 8.1 No listed buildings or conservation areas are affected by the proposed works. That being said, Suffolk County Council Archaeology Service note the potential for below ground heritage assets to be affected by the development. Policy HB14 of the Local Plan requires that in order to allow development that might affect archaeology to go ahead, the Archaeology Service must be content that impacts can be alleviated by conditions. In this instance, this has been confirmed within their consultation response.

9. Impacts on Amenity

- 9.1 Core Strategy policy CS4 requires development not lead to unacceptable impacts arising through exposure to pollution while Saved Policy H16 of the Local Plan seeks to protect the existing amenity of residential neighbours to development. Paragraph 127 of the NPPF sets out a number of core planning principles as to underpin decision-taking, including, seeking to secure a high standard of amenity for all existing and future occupants of land and buildings.
- 9.2 Concerns have been raised with regards to both light and noise pollution as a result of the application at hand. With regards to light pollution, no new lighting is proposed within the application such that no new sources of light would be created as a result and no increase in levels of light coming from the site would be enacted.

- 9.3 With regards to noise pollution specifically, conditions already control the level of noise on site and consultation with the Council's Environmental Health team note no objection to the proposed development provided conditions are imposed to control any resultant noise. Consultation with the Environmental Health team has confirmed a suitable wording for these conditions.

10. Parish Council Comments

- 10.1 Wilby Parish Council have not raised any objection to the proposed development.
- 10.2 Stradbroke Parish Council have noted a number of issues with the application, including issues of jurisdiction, ecological impacts and land use concerns.
- 10.3 With regards to whether the Council can make a determination on this application, it is clear that the application does not directly affect a minerals or waste site such that Suffolk County Council should be the determining authority. While connection to the AD plant is noted as part of this application, it is not sufficient to alter the workings of the AD plant which will continue to operate as it normally does.
- 10.4 With regards to ecology, concern is raised at the potential for improper use of the heat source array to prevent the growing of crops on the site and lead to a loss of agricultural land. This risk however is considered to be low as it is understood that the site would be professionally operated and maintained.
- 10.5 Finally, with regards to land use, the Parish Council have concerns with regards to the potential drying of third-party crop or waste product on the site would lead to the potential for an industrial use on the site. With this in mind any alteration to the use of the site would require a planning application in order to secure the site as an industrial scale waste disposal site.

PART FOUR – CONCLUSION

11. Planning Balance and Conclusion

- 11.1 The current application proposes the installation of a ground source heat array and heat exchanger to provide heat to be used in the drying of crops to be fed into the AD plant on site. It proposes the utilisation of renewable sources of heat as well as the redirection of waste heat currently vented off of the AD plant into to do so. Given development on the site, a further barn structure is likely required to facilitate this use given
- 11.2 The heating array covers a considerable site area, however, should leave the site still able to be utilised for agricultural purposes while the heat exchanger would be read as part of the complex of buildings and structures serving the AD plant.
- 11.3 No risks have been identified with regards to land contamination, flood risk, landscape impact or ecology while archaeology and noise pollution can both be adequately controlled by conditions recommended by the Council's consultees.
- 11.4 With regards to STRAD13, while some transport of goods to site during construction would occur and may be likely to utilise heavy good vehicles, this impact would be limited to the build out of the development rather than the day to day use of the development which would not lead to any increases in heavy goods vehicle traffic to the site.

11.5 It is considered that as any disruption to road traffic would be temporary and the application is looking to increase the capacity for renewable energies at the site, the recommendation to members is to approve the application subject to the conditions listed below.

RECOMMENDATION

That the Chief Planning Officer be authorised to GRANT Planning Permission subject to conditions as summarised below and those as may be deemed necessary by the Chief Planning Officer:

- Standard three-year time limit for implementation of the development.
- Development to be undertaken in accordance with the approved drawings.
- Development to be undertaken in accordance with scheme of archaeological investigation.
- Ecological protection measures outlined in the scheme to be enacted.
- Noise control scheme to be enacted such that the heat exchanger is not to be louder than the background noise of the AD plant.
- Archaeological Conditions

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Application No: DC/20/01697

Location: Barley Brigg Farm, Stradbroke

Page No.

Appendix 1: Call In Request	N/A	
Appendix 2: Details of Previous Decision	N/A	
Appendix 3: Town/Parish Council/s	<i>Stradbroke Parish Council Wilby Parish Council</i>	
Appendix 4: National Consultee Responses	<i>Natural England</i>	
Appendix 5: County Council Responses	<i>Archaeological Service Highways Minerals and Waste</i>	
Appendix 6: Internal Consultee Responses	<i>Ecology Environmental Health – Noise/Odour/Light/Smoke Envrinmental Health - Sustainability</i>	
Appendix 7: Any other consultee responses	N/A	
Appendix 8: Application Site Location Plan	Yes	
Appendix 9: Application Plans and Docs	Yes	
Appendix 10: Further information	N/A	



Babergh and Mid Suffolk District Councils



The attached appendices have been checked by the case officer as correct and agreed to be presented to the committee.



From: Chris Edwards <chrisedwards@suffolkonline.net>

Sent: 14 June 2020 12:53

To: Daniel Cameron <Daniel.Cameron@babberghmidsuffolk.gov.uk>

Cc: Ross Walker <Ross.Walker@suffolk.gov.uk>; Guy McGregor (SCC Councillor) <guy.mcgregor@suffolk.gov.uk>; Parish - Stradbroke <StradbrokePC@outlook.com>; 'Sue Ives' [REDACTED]

Subject: Drying shed at Barley Brigg Farm DC/20/01697

Importance: High

Dear Daniel

1. The sites are inextricably interconnected
2. The current proposal cannot be built as the applicant is already implementing a previous consent for a much larger consented barn (consented absent the drying array)

This email is to draw your attention to the status of the current shed development at Barley Brigg Farm. The two attached photos show the structure of the shed under construction is consistent with the consented scheme 1837/17 and not with the plan on 20/01697.. The shed encloses the area of the building footprint proposed in the present application 20/01697.

The enclosed structure extends to and touches the boundary of the Digester site. Please refer to attached photographs.

The applicant has therefore implemented in part an earlier consent. The photographs show he has reached roof cover level of finish. (see below this email for copy /paste extract referring to a previous and withdrawn proposal of the same area as 1837/17)

Consented scheme 1837/17 shows a shared boundary with the digester. This application takes this further. The proposed barn will feed the digester. Even if that generates "clean heat" in return, an explicitly consented agricultural site is feeding material to the waste site and benefiting from the heat generated in return. That heat is being used to dry third party grain. The two uses agricultural and industrial/waste are now combined into an industrial complex driven by the waste site. Legal precedent applies here and I fail to see how it cannot be said the sites are not interconnected and that the shed is now subsumed to the use of the biodigester.

Of course SCC do not want to deal with this as they have just completed their consultation on the Minerals and Waste Plan and the safeguarded site on the policy map includes neither the meadow nor the barn area, but in view of the evidence it difficult to understand the legal advice which presumably underpins SCC's position

The GSHP array is located in a field adjacent to the biodigester site and not the agricultural shed site.

As previously noted the key equipment unit is a sizeable container located on the A/D site.

The previous statement extract which accompanied the current building development ("as built") clearly states an intention to feed product from this as built barn into the biodigester

Therefore the biodigester is connected to the shed by input and output.

The shed and the biodigester sites are one and the same for this purpose, due to the synergistic relationship created by implementing application 1837/17 whilst applying for a permission to sue a smaller structure on the pretext of "mere" agricultural use.

It seems obvious that DC/20/01697 cannot be implemented in the manner stated in the planning application. The current structure, the enlarged shed, carries with it the conditions and requirements of the previous consent. More importantly perhaps the current shed physically encloses the proposed location of the proposed hot air pipe to connect the secondary existing shed to the currently consented but superceded new smaller shed. The drawing for DC/20/01697 shows this.. It is therefore not possible to consent DC/20/01697 and require it to be built in accordance with the plans and planning statement put forward by the applicant.

In conclusion the sites are interconnected in five ways;

- the applicant has extended the barn structure, so that it touches the edge of the digester site;
- the barn relies on the digester for its heat (output)
- in its built form the barn will provide straw for the digester (input)
- the barn relies on the digester site to convey the ground heat from the meadow to the barn
- the heat exchange and control mechanism is proposed on the biodigester site.

And as noted the present application cannot be built in its proposed form as the “site” is subsumed into a larger red line consented scheme which is now significantly advanced to prevent the current proposal from being implemented at all

Kind regards

Chris Edwards

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Sent: 14 June 2020 12:53

To: Daniel Cameron <Daniel.Cameron@babberghmidsuffolk.gov.uk>

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And as noted the present application cannot be built in its proposed form as the “site” is subsumed into a larger red line consented scheme which is now significantly advanced to prevent the current proposal from being implemented at all

Kind regards

Chris Edwards

Hollins

Architects Surveyors & Planning Consultants

DESIGN ACCESS & PLANNING STATEMENT

for

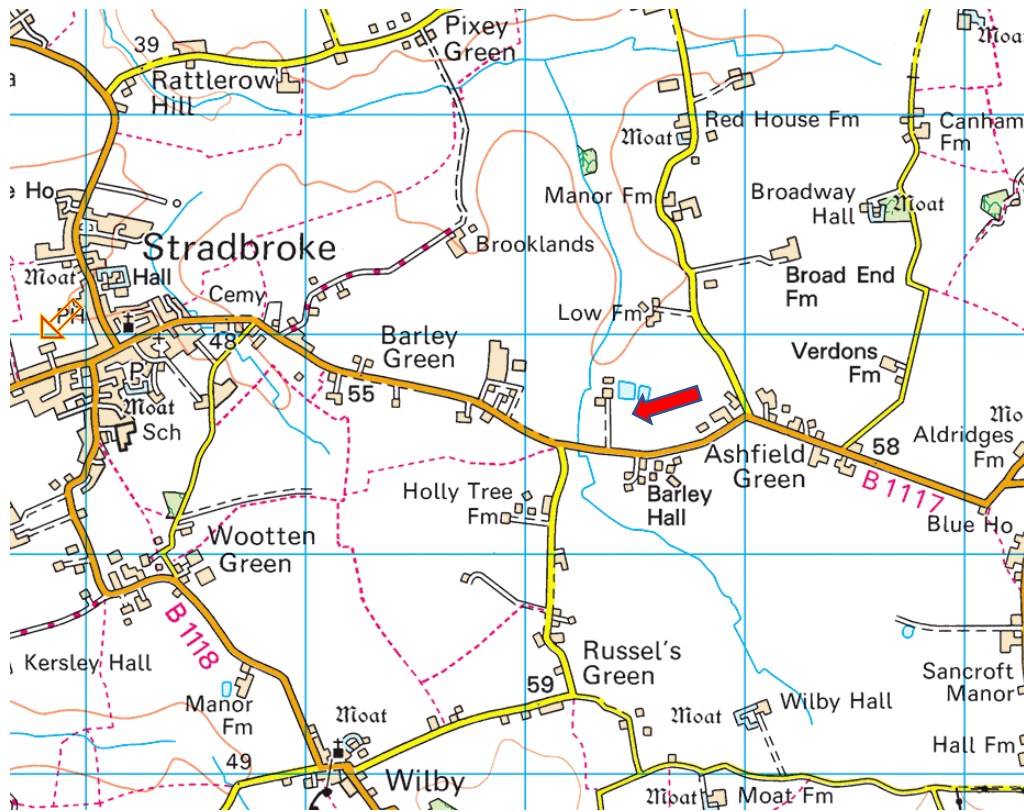
***New General Purpose Agriculture Store Incorporating a Straw
Burner and Dryer Unit***

at

***Barley Brigg Farm
Stradbroke
IP21 5NQ***

On behalf of

Rattlerow Farms Ltd



Streetmap



Aerial Photo

INTRODUCTION

This statement is in support of an application for a new general purpose Agricultural Store at Barley Brigg farm, Stradbroke which will include a straw burner and dryer unit, adjacent to the proposed main building.

BACKGROUND

Over the last few years Rattlerow Farms Ltd has added over 1,000 acres of farmland to the area under the company's management control. This has led to an increased need for additional buildings and employees to support the increased farming activity.

Barley Brigg is an established part of the Rattlerow business and the location already provides an existing agriculture store, biogas plant and pig unit.

SITING AND ALTERNATIVE LOCATIONS

Positioning the unit adjacent to the existing agricultural building as shown on Drg No. 1731 101, will limit any detrimental effect of visual intrusion into the countryside as the area currently provides similar development.

Several locations have been considered for the new building but it is concluded that the existing use of the established agricultural planning unit, means Barley Brigg is the ideal location. This is in terms of being centrally located to the various Rattlerow farming operations, on land owned by the applicant and having adequate space available.

In addition, it is necessary for a straw burner to be operated by employee resources from the adjoining biogas plant and as such this location is unique within the Rattlerow operation.

Therefore, this site has been identified as the only viable location for the development proposal.

PROPOSAL

The proposal is to erect a steel framed structure clad externally with galvanised grain walling with colour coated metal sheet cladding above, together with a colour coated profiled cement fibre sheet roof. Related hard-standings and areas for manoeuvring of vehicles are also proposed.

The straw burner will be used to generate electricity and in addition provide heat to be used in the process of the drying unit. A further statement describing the purpose, process and running of the units is attached as Appendix A.

SCALE

The proposed building measures 67.4m x 24m on plan and comprise a net internal floor area of 1,626 SqM; The total defined site application area is 4,230 SqM.

The proposed eaves height is 8.6m with a ridge height of 11.25m.

LANDSCAPING

The location proposed has been selected to make best use of existing topography of the area and is adjacent to the existing building. The proposed unit will also benefit from some additional planting and a raised bund to provide further screening.

SURFACE WATER RUN-OFF AND DRAINAGE

It is proposed to deal with the run off surface water drainage by way of an attenuation pond, which will in turn control the flow rate of water to be dispersed into the existing ditch network.

A copy of the calculation information is attached as Appendix B

ACCESS

There is existing vehicular access to the site presently used by agricultural and other vehicles entering, from the B1117, Laxfield Road

PRE-APPLICATION ADVICE

Pre-application advice was sought on 9th February with Gemma Walker, ref no. 0446/17 who in broad terms considered the application could be supported. However, at this stage the inclusion of a drier unit and straw burner were not discussed.

We have also contacted Development Manager, Anita Seymour at Suffolk County Council who has confirmed that in principle the straw burner part of the application does not constitute a waste application as the incinerator will be fed with 'clean straw' from the existing Rattlerow Farming operation.

APPENDIX A



RATTLE ROW FARMS LTD PIG BREEDING DEVELOPMENT

REGD. OFFICE: HILL HOUSE FARM : STRADBROKE : EYE : SUFFOLK IP21 5NB : UK

TEL: +44 (0) 1379 384304 FAX: +44 (0) 1379 388272 E-mail: rattlerow@rattlerow.co.uk Website: www.rattlerow.co.uk

Dear Sir

Reference: New general purpose store at Barley Brigg.

Dear Sir

I am writing to you to outline the reasons why Rattlerow farms need a new general purpose store at Barley Brigg Farm.

Over the last few years the acreage we farm has increased considerably. We have bought over 200 acres and taken on another 300 acres contract farming and another 500 acres on farm business tenancies. This has added another 1000 acres. With our rotation this will add another 500 acres of wheat or at least 2000 tonnes.

In addition to this extra tonnage we have storage at laxfield and Horham that is in desperate need of replacement. Barley Brigg is central to the various blocks we farm so road miles are minimised. Also access onto the B1118 is very good.

We would like to install a drier adjacent to the shed. Heat for the drier will come from burning straw. Out of harvest we will continue to use the drier for drying various agricultural by-products. For instance brewer's grains or sugar beet pulp. These dry products could then be stored for feeding to our adjacent biogas plant or taken to our mill in order to replace bought in feed. Some product could be sold for local pet food.

The drier will be capable of removing 2 tonnes of water per hour. So the maximum number of vehicles coming to the store will be 2 Lorries per day. This would not all be extra vehicle movements if the product was being used in the mill or Biogas plant.

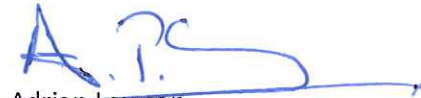
The straw burner would require 15 Tonnes a day maximum. Most of this would come from our own land. The ash is a valuable source of P and K and would be returned to our own land. The exhaust chimney would obviously meet regulations.

Because the government are encouraging renewable energy we would like to install an Organic Rankin Cycle engine. This would use some of the heat to generate Electricity. This energy would be used to run our adjacent pig unit.

The store will be managed by the staff working on the adjacent biogas plant. Presently 3 men are there full time and depending on what we could dry out of harvest the store will employ the equivalent of another full time man.

The store will be screened from the road with new planting and a bund. The roof and side sheeting will be slate grey to match the existing store.

Yours sincerely



Adrian Lawson

APPENDIX B

**PROPOSED BUILDING
BARLEY BRIGG FARM
STRADBROKE
IP21 5NQ**

STORM WATER ATTENUATION

Description

The proposal is to erect a new farm building together with areas of impervious paving to provide access.

Total areas building and paving:

Building	1610m ²
Paving	<u>1000m²</u>
	2610m ²

Using data derived from the Wallingford Revitalized FSR/REH Rainfall Runoff Method rainfall duration 2.5 hours with 0.5 hour time steps is proposed.

Total Run Off

Design Rainfall 58.40mm

Allow for Climate Change

58.40 x 1.20 = 70.08mm

Total Run Off

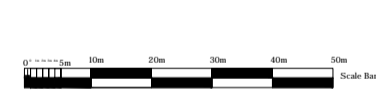
70.08mm x 2610m² = 182.91m³ in 2.5 hours

Provide storage pond with 100dia discharge pipe to adjacent ditch system.

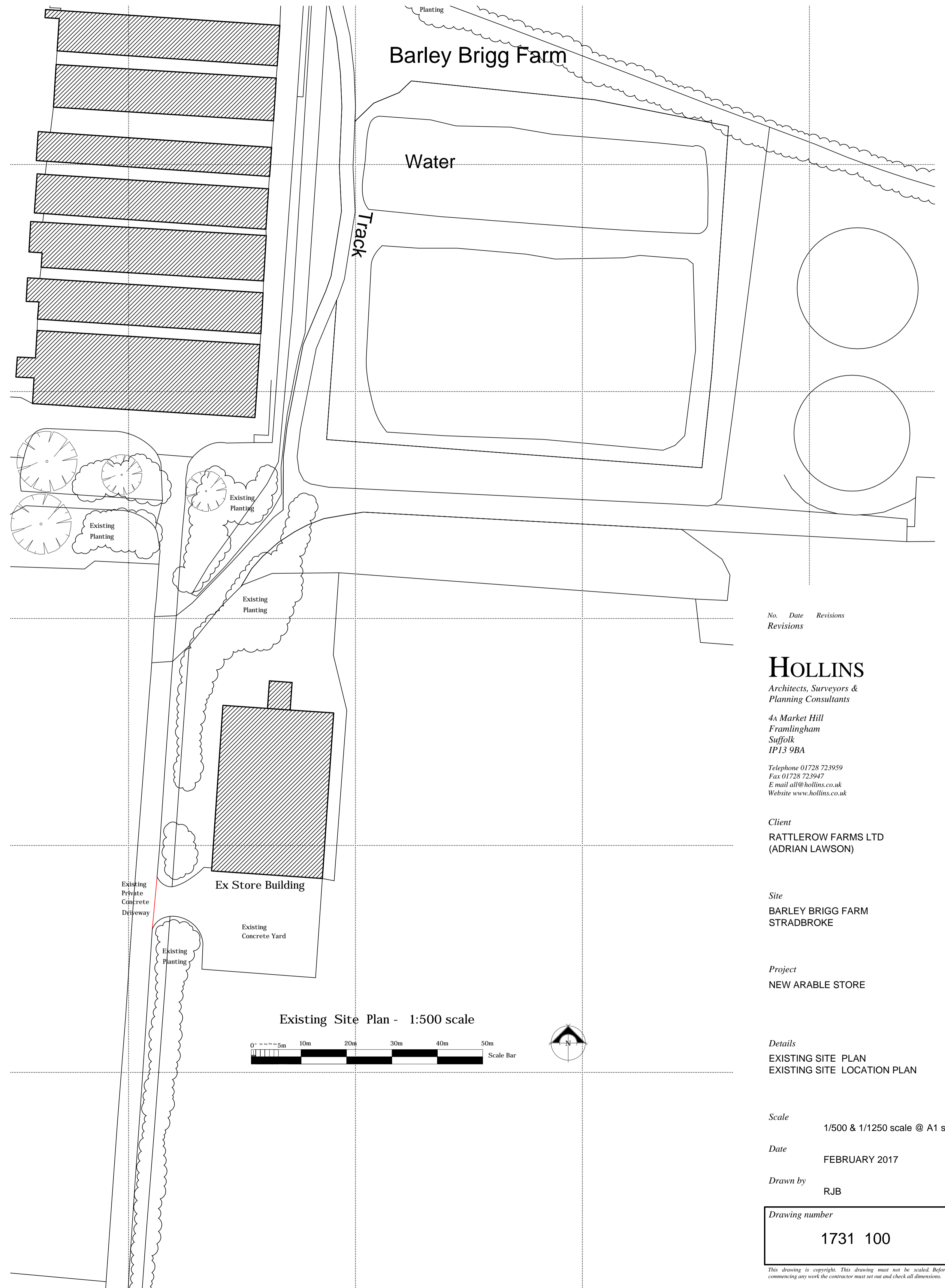
Capacity of pond above discharge to be equal to total run off volume.



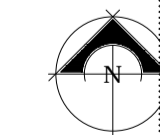
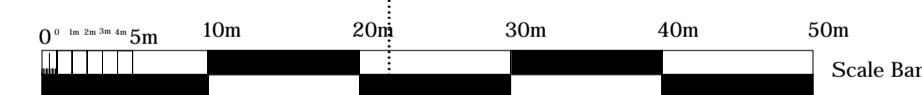
Site Location Plan - 1:1250 scale



Ordnance Survey. (c) Crown Copyright 2017. All rights reserved. Licence number 100022432



Existing Site Plan - 1:500 scale



No.	Date	Revisions

HOLLINS
 Architects, Surveyors &
 Planning Consultants

4A Market Hill
 Framlingham
 Suffolk
 IP13 9BA

Telephone 01728 723959
 Fax 01728 723947
 E mail all@hollins.co.uk
 Website www.hollins.co.uk

Client
RATTLELOW FARMS LTD
 (ADRIAN LAWSON)

Site
BARLEY BRIGG FARM
STRADBROKE

Project
NEW ARABLE STORE

Details
EXISTING SITE PLAN
EXISTING SITE LOCATION PLAN

Scale
 1/500 & 1/1250 scale @ A1 sheet

Date
 FEBRUARY 2017

Drawn by
 RJB

Drawing number
1731 100

This drawing is copyright. This drawing must not be scaled. Before commencing any work the contractor must set out and check all dimensions.

From: Stradbroke Parish Council <stradbrokepc@outlook.com>
Sent: 15 May 2020 15:35
To: Daniel Cameron <Daniel.Cameron@baberghmidsuffolk.gov.uk>
Cc: BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>
Subject: Fw: Barley Green A/D MSDC Planning Consultation Request - DC/20/01697

Re: DC/20/01697

Stradbroke Parish Council is submitting an initial response to the consultation on the planning application referenced above.

The Parish Council OBJECTS to this application on procedural grounds of jurisdiction and comments that this application should be determined by Suffolk County Council. The email below has been submitted to Cllr Guy McGregor (Suffolk County Council) and is, via this email, submitted to MSDC.

In addition to the point on jurisdiction, the email below makes reference to substantive matters regarding ecology and land use which the Parish Council brings to the attention of MSDC.

Regards
Odile Wladon
Clerk
Stradbroke Parish Council
Mobile: 07555 066147
website: <https://www.stradbrokepc.org/>



You have received this email from Stradbroke Parish Council. The content of this email is confidential, may be legally privileged and intended for the recipient specified in the message only. It is strictly forbidden to share any part of this message with any third party, without the written consent of the sender. If you received this message by mistake, please reply to this message and follow with its deletion, so that we can ensure such a mistake does not occur in the future. Stradbroke Parish Council, ensures that email security is a high priority. Therefore, we have put efforts into ensuring that the message is error and virus-free. Unfortunately, full security of the email cannot be ensured as, despite our efforts, the data included in emails can be infected, intercepted, or corrupted. Therefore, the recipient should check the email for threats with proper software, as the sender does not accept liability for any damage inflicted by viewing the content of this email. By contacting Stradbroke Parish Council you agree your contact details may be held and processed for the purpose of corresponding. You may request access to the information we hold on you by emailing stradbrokepc@outlook.com. You may request to be removed as a contact at any time by emailing stradbrokepc@outlook.com. To view Stradbroke Parish Council's Privacy Notice click [here](#)

Sent: 15 May 2020 13:06

To: 'Guy McGregor' <guy.mcgregor@suffolk.gov.uk>

Cc: 'Stradbroke Parish Council' <stradbrokepc@outlook.com>;

Subject: RE: Barley Green A/D MSDC Planning Consultation Request - DC/20/01697

Guy

Many thanks for your response. I have now taken unpaid opinion from a ground source heat expert and his view is this is the precursor to an industrial processing facility: If we follow his reasoning set out below, SCC must determine the proposal and not the district council.

Obviously this is a clever and efficient system but it is a pity the applicant has not been more transparent in his approach. For example we do not have any detail of the traffic movements this proposal will generate.

We do not want a re run of the Cranswick issue, and as you know my FOI to SCC showed the A/D waste output and this lorry movements was several times greater than was put forward by the landowner when he applied for planning to build the digester.

I am requesting the Clerk sends this follow up email to the MSDC planning officer for re consideration of the ecological and land use implications, since the heat pump array in the field may sterilise the land for future agricultural use, contra to the statements of the planning consultant. .

SPC has repeatedly raised concerns about the industrialisation of this site by the back door. To repeat, there have been two separate consultations recently SCC and MSDC in which the site(S) and farm generally could have been promoted for wider use and consulted on publicly but neither opportunity was taken

Kind regards

Chris

++++
++++

Advice on proposed system at Barley Brigg Farm

“Anyway, they look like they are using warm air from the AD plant and extracting a percentile of the residual heat/energy from this exhaust gas before discharging into the atmosphere. So basically routing the exhaust to a new plant system within an ISO container, extract some of the heat and then venting as previous, but with a lower exhaust temperature.

This is being combined with a ground loop as per a normal GSHP. So basically they are proposing a very large ASHP combined with a GHSP. Neat.

The system performance will be very dependant upon how 'dry' the exhaust air is. Any moisture may cause the heat exchangers in the container to continually block. There is a noise associated with the air flow through the exchangers, but this should be limited to within a few meters of the container itself. However, there are pull fans on the end and these will produce a reasonable amount of low and infra sound, especially if poorly maintained. Contaminants on the blades increase air flow noise and vibrational noise.

If it will require some quite complex control systems to manage this extraction. If they get it wrong, they will heat/freeze the field, or increase the heat of the exhaust air.

I did not spot the expected output rating of the system. But I expect it is over 100KW. During winter the ground loop may freeze the field if the extraction occurs during overcast days, with low AD plant output.

This would affect microbiological (incl worms and ground based insects) when the soil freezes long term. You would need some assurances that freezing of the ground can not occur. Even with pipes 2-3m down, freezing of the layer above with low air temperatures is perfectly possible. And can take months to unfreeze.

He is using waste energy from the AD plant via the exhaust system. He is using agricultural land for ground loop heat extraction. The exhaust extraction could be considered a secondary unit, as the ground loop is probably the primary. The output of the system is basically providing low cost heat to the farm. If the AD plant takes in 'waste' externally from the farm, I would consider it an industrial facility, rather than a local agricultural facility for the farm itself.

If the AD plant is industrial by processing 3rd party waste, then yes, the farm heat and the AD plant are linked. And the drying process is also industrial. But I don't really know how to link/unlink the various processes on the site. If it just used exhaust extraction, then it could 'sell' heat to the farm, in the same way it would buy electricity or other fuel to dry the produce. But the fact it has a ground loop in the land of the farm, makes it a layer of further complication. Is the farm renting the land to the AD plant or what? But basically I would say the field has become industrial by that fact the pipes belong to the AD plant. The super chilling of the field will prevent it's use for even grass. So agricultural co-use would be negated.

If the entire system is 'self sufficient', i.e. the waste plant only uses farm produced waste, then the whole system is agricultural. The moment AD plant uses waste from 3rd parties, or the heat is used to dry 3rd party produce, the whole setup is industrial.

Neat plan and system, but I think he is looking at moving away from farming to industrial drying and waste processing. That is the only economic model I can see that makes it all viable. Due to changes in farming regulations, the disposal of farm waste becomes much harder from next year and he has seen an opportunity to to charge people for waste which he can make heat from and sell a rapid drying facility. Basically everyone has to pay him. Pay for waste disposal, pay for drying, all of which is pretty much free to him. "

From: Guy McGregor <guy.mcgregor@suffolk.gov.uk>

Sent: 14 May 2020 23:24

To: Chris Edwards

Subject: RE: Barley Green A/D MSDC Planning Consultation Request - DC/20/01697

Chris

I have raised the issue of jurisdiction with legal (planning SCC).

I will advise soonest.

GUY MCGREGOR
HOXNE & EYE DIVISION
01379668434 (H)
01379870339 (O)

I have taken informal advice from a tells you how I collect and use personal data.

Consultee Comments for Planning Application DC/20/01697

Application Summary

Application Number: DC/20/01697

Address: Barley Brigg Farm Laxfield Road Stradbroke Eye Suffolk IP21 5NQ

Proposal: Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.

Case Officer: Daniel Cameron

Consultee Details

Name: Mrs Julie Collett

Address: Bridge Cottage, The Street, Huntingfield, HALESWORTH IP19 0PX

Email: wilbyclerk@outlook.com

On Behalf Of: Wilby Parish Clerk

Comments

The closure date for responses to the application falls outside the scheduled meetings of council. The details of the application having been circulated, Councillors do not consider that the nature and extent of the proposals merits a special meeting for their consideration and accordingly council is content for the application to be determined by the Planning Authority consistent with the relevant planning policies.

From: SM-NE-Consultations (NE)
Sent: 19 May 2020 16:13
To: BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>
Subject: DC/20/01697

Dear Sir or Madam

Application ref: DC/20/01697
Our ref: 316061

Natural England has no comments to make on this application.

Natural England has not assessed this application for impacts on protected species. Natural England has published [Standing Advice](#) which you can use to assess impacts on protected species or you may wish to consult your own ecology services for advice.

Natural England and the Forestry Commission have also published standing advice on [ancient woodland and veteran trees](#) which you can use to assess any impacts on ancient woodland.

The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes. It is for the local planning authority to determine whether or not this application is consistent with national and local policies on the natural environment. Other bodies and individuals may be able to provide information and advice on the environmental value of this site and the impacts of the proposal to assist the decision making process. We advise LPAs to obtain specialist ecological or other environmental advice when determining the environmental impacts of development.

We recommend referring to our SSSI Impact Risk Zones (available on [Magic](#) and as a downloadable [dataset](#)) prior to consultation with Natural England. Further guidance on when to consult Natural England on planning and development proposals is available on gov.uk at <https://www.gov.uk/guidance/local-planning-authorities-get-environmental-advice>

Yours faithfully

Dawn Kinrade
Natural England
Operations Delivery
Consultations Team

Resource Management
Bury Resource Centre
Hollow Road
Bury St Edmunds
Suffolk
IP32 7AY

Philip Isbell
Corporate Manager - Development Manager
Planning Services
Endeavour House
8 Russell Road
Ipswich IP1 2BX.

Enquiries to: Kate Batt
Direct Line: 01284 741227
Email: kate.batt@suffolk.gov.uk
Web: <http://www.suffolk.gov.uk>

Our Ref: 2020_01697
Date: 15/07/2020

For the Attention of Daniel Cameron

Dear Mr Isbell

Planning Application: DC/20/01697 Barley Brigg Farm Laxfield Road Stradbroke Eye Suffolk - Archaeology

The proposed development site lies in an area of archaeological potential recorded on the County Historic Environment Record. Cropmarks, finds and a documentary record for a Medieval Market (SBK 056), from the wider vicinity, indicate potential for Medieval and earlier occupation. Given the nature of the development, installation of underground 'Ground Source Heat Array', groundworks associated with the development have the potential to damage or destroy any archaeological remains which exist.

There are no grounds to consider refusal of permission to achieve preservation *in situ* of any important heritage assets. However, in accordance with the *National Planning Policy Framework*, any permission granted should be the subject of a planning condition to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed.

In this case the following two conditions would be appropriate:

1. No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation which has been submitted to and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording
- b. The programme for post investigation assessment
- c. Provision to be made for analysis of the site investigation and recording
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation

- e. Provision to be made for archive deposition of the analysis and records of the site investigation
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

2. No building shall be occupied until the site investigation and post investigation assessment has been completed, submitted to, and approved in writing by the Local Planning Authority, in accordance with the programme set out in the Written Scheme of Investigation approved under part 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

REASON:

To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2012).

INFORMATIVE:

The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team.

I would be pleased to offer guidance on the archaeological work required and, in our role as advisor to Mid Suffolk District Council, the Conservation Team of SCC Archaeological Service will, on request of the applicant, provide a specification for the archaeological work required at this site. In this case, an archaeological evaluation will be required to establish the potential of the site and decisions on the need for any further investigation (excavation before any groundworks commence and/or monitoring during groundworks) will be made based on the results of the evaluation.

Further details on our advisory services and charges can be found on our website: <http://www.suffolk.gov.uk/archaeology/>

Please do get in touch if there is anything that you would like to discuss, or you require any further information.

Yours sincerely,

Kate Batt BSc (Hons)

Senior Archaeological Officer
Conservation Team

Your Ref: DC/20/01697
Our Ref: SCC/CON/1958/20
Date: 4 June 2020
Enquiries to: Ross.Walker@suffolk.gov.uk



The Planning Department
MidSuffolk District Council
Planning Section
1st Floor, Endeavour House
8 Russell Road
Ipswich
Suffolk
IP1 2BX

For the attention of: Daniel Cameron

Dear Daniel Cameron,

**TOWN AND COUNTRY PLANNING ACT 1990
CONSULTATION RETURN:**

PROPOSAL: Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.

LOCATION: Barley Brigg Farm, Laxfield Road, Stradbroke, Eye, Suffolk, IP21 5NQ

Notice is hereby given that the County Council as Minerals and Waste Authority make the following comments:

"Thank you for consulting Suffolk County Council on the above application. The county Council raise no objection to the proposals but wish to make the following comments.

-The site sits outside a 'Minerals safeguarding zone' so no action would need to be taken in the safeguarding of potential minerals on the site.

-The site sits south west of a 'safeguarded waste site' on which is located an Anaerobic Digestion plant (MS/3892/15) with storage areas and a lagoon related to the AD plant.

-The proposed ground source heat array will draw some heat from the AD plant to be used alongside the ground source heat array for the drying of crops in the barn, this will require machinery to be erected on hard standing to a corner of the AD plant but it is felt that this will not affect/ disrupt the function of the safeguarded waste facility.

-It is asked that the Case officer takes the AD site into consideration when determining this application and give focus to Policy WP18: safeguarding of waste management sites, Suffolk minerals and waste local plan submission draft 2018, policy carried forward from the waste core strategy 2011.

Kind Regards

Yours sincerely,

Ross Walker
Planning Officer
Planning Section
Strategic Development - Growth, Highways & Infrastructure

From: SCC Planning Mailbox <Planning@suffolk.gov.uk>
Sent: 08 June 2020 14:57
To: BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>
Cc: Ross Walker <Ross.Walker@suffolk.gov.uk>
Subject: RE: DC/20/01697 - Barley Brigg Farm, Laxfield Road, Stradbroke

Good Afternoon,

Our case officer for this consultation, Ross Walker, responded to your consultation request on the 4th of June 2020, and also discussed the application with your case officer through telephone. However, I will include his written comments again:

PROPOSAL: Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.

LOCATION: Barley Brigg Farm, Laxfield Road, Stradbroke, Eye, Suffolk, IP21 5NQ

Notice is hereby given that the County Council as Minerals and Waste Authority make the following comments:

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-The site sits south west of a ‘safeguarded waste site’ on which is located an Anaerobic Digestion plant (MS/3892/15) with storage areas and a lagoon related to the AD plant.

-The proposed ground source heat array will draw some heat from the AD plant to be used alongside the ground source heat array for the drying of crops in the barn, this will require machinery to be erected on hard standing to a corner of the AD plan but it is felt that this will not affect/ disrupt the function of the safeguarded waste facility.

-It is asked that the Case officer takes the AD site into consideration when determining this application and give focus to Policy WP18: safeguarding of waste management sites, Suffolk minerals and waste local plan submission draft 2018, policy carried forward from the waste core strategy 2011.”

Please email if you have any further questions.

Kind Regards,

Planning Section

Strategic Development

Suffolk County Council | Endeavour House | 8 Russell Road | Ipswich | IP1 2BX

TEL: 01473 265066

Email: planning@suffolk.gov.uk

www.suffolk.gov.uk



11 May 2020

Daniel Cameron
Mid Suffolk District Council
Endeavour House
8 Russell Road
Ipswich IP1 2BX

By email only

Thank you for requesting advice on this application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.

Application: DC/20/01697
Location: Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.
Proposal: Barley Brigg Farm Laxfield Road Stradbroke Eye Suffolk IP21 5NQ

Dear Dan,

Thank you for consulting Place Services on the above application.

No objection subject to ecological mitigation and enhancement measures

Summary

We have reviewed the Preliminary Ecological Appraisal (Parker Planning Services Ltd, April 2020) relating to the likely impacts of development on designated sites, Protected and Priority Species & Habitats.

We are satisfied that there is sufficient ecological information available for determination. This provides certainty for the LPA of the likely impacts on designated sites, Protected and Priority Species & Habitats and, with appropriate mitigation measures secured, the development can be made acceptable.

The mitigation measures identified in the Preliminary Ecological Appraisal (Parker Planning Services Ltd, April 2020) should be secured and implemented in full. This is necessary to conserve Protected and Priority Species.

Furthermore, we agree that the development will we not result in a net loss for biodiversity. However, we recommend that reasonable biodiversity enhancement should be delivered to secure measurable net gains for biodiversity, as outlined under Paragraph 170d of the National Planning Policy Framework 2019. The biodiversity enhancement measures contained within the Preliminary



Ecological Appraisal (Parker Planning Services Ltd, April 2020) should be outlined within a Biodiversity Enhancement Strategy, to be secured as a condition of any consent.

This will enable LPA to demonstrate its compliance with its statutory duties including its biodiversity duty under s40 NERC Act 2006.

Impacts will be minimised such that the proposal is acceptable subject to the conditions below based on BS42020:2013.

Submission for approval and implementation of the details below should be a condition of any planning consent.

Recommended conditions

1. ACTION REQUIRED IN ACCORDANCE WITH ECOLOGICAL APPRAISAL RECOMMENDATIONS

“All mitigation and enhancement measures and/or works shall be carried out in accordance with the details contained in the Preliminary Ecological Appraisal (Parker Planning Services Ltd, April 2020) as already submitted with the planning application and agreed in principle with the local planning authority prior to determination.”

Reason: To conserve and enhance Protected and Priority species and allow the LPA to discharge its duties under the UK Habitats Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species).

2. PRIOR TO BENEFICIARY USE: BIODIVERSITY ENHANCEMENT STRATEGY

“A Biodiversity Enhancement Strategy for Protected and Priority species shall be submitted to and approved in writing by the local planning authority, following the details contained within the Ecological Assessment (Ecology Solutions Ltd, June 2019).

The content of the Biodiversity Enhancement Strategy shall include the following:

- a) Purpose and conservation objectives for the proposed enhancement measures;*
- b) detailed designs to achieve stated objectives;*
- c) locations of proposed enhancement measures by appropriate maps and plans;*
- d) persons responsible for implementing the enhancement measures;*
- e) details of initial aftercare and long-term maintenance (where relevant).*

The works shall be implemented in accordance with the approved details and shall be retained in that manner thereafter.”

Reason: To enhance Protected and Priority Species/habitats and allow the LPA to discharge its duties under the s40 of the NERC Act 2006 (Priority habitats & species).



Please contact us with any queries.

Yours sincerely,

Hamish Jackson GradCIEEM BSc (Hons)
Ecological Consultant
ecology.placeservices@essex.gov.uk

Place Services provide ecological advice on behalf of Mid Suffolk District Council

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.

From: Andy Rutson-Edwards <Andy.Rutson-Edwards@babberghmidsuffolk.gov.uk>
Sent: 07 October 2020 11:28
To: Daniel Cameron <Daniel.Cameron@babberghmidsuffolk.gov.uk>; BMSDC Planning Mailbox <planning@babberghmidsuffolk.gov.uk>; BMSDC Planning Area Team Blue <planningblue@babberghmidsuffolk.gov.uk>
Subject: further reconsultation DC/20/01697

Environmental Health -
Noise/Odour/Light/Smoke

APPLICATION FOR PLANNING PERMISSION - DC/20/01697

Proposal: Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.

Location: Barley Brigg Farm, Laxfield Road, Stradbroke, Eye Suffolk IP21 5NQ

Reason(s) for re-consultation: Further information received by the Local Planning Authority on the 29th September 2020.

Thank you for re consulting me on this application.

Having reviewed the submitted noise impact assessment, I note that this is 5 years old and therefore not current. The report is for an anaerobic digester and not for the heat recovery plant proposed. Having said this I also have regard to the comment in the report dated 2015 which states that the noisiest item of equipment is the CHP plant and this dictates noise levels at distances greater than 50 m from the site. I also note the Sharps Gayler Technical Note dated 7.7.2017 relating to condition 6 and 7 of the previous planning permission MS/3892/15.

The noise levels at the monitored positions, although within the levels set in condition 7 were close to the limit of 35dB LAeq.

In an email from the Agent on 16th September 2020 he proposes the following as a condition as a way of controlling the noise levels and to keep them in line with those previously imposed on this site:

"In fact if it helps, please consider applying a planning condition(s) which echo those on the county site-wide permission and along these lines:

Condition: Prior to commissioning of the heat exchanger, plant testing and noise monitoring shall be undertaken at the 'assessed dwellings' identified in the Sharps Acoustics report of 28th August 2015 – an approved document of County Council planning permission MS/3892/15. In the event that predicted noise levels are breached further measures to limit noise shall be submitted to and approved by the LPA prior to commissioning of the heat exchanger.

Then:

Condition: Noise from the heat exchanger must not exceed 35dB LAeq at each of the positions indicated on the County Council approved plan 'MS/3892/15 Barley Brigg Farm AD – Proposed Noise monitoring positions'.

The new application refers to a bank of 4 fans within a container, each fan having an Sound pressure level at 3 metres of 87dBA. I am concerned that this new noise source could potentially cause the levels to exceed those previously conditioned for this site.

I would however be satisfied with conditions being imposed **but** the proposed conditions are modified so that the assessment and levels are based on both the existing AD plant and

the proposed new plant running together at full capacity to ensure that these levels are not breached.

Conditions

- Prior to commissioning of the heat exchanger, plant testing and noise monitoring to include the existing AD running at full capacity and the new heat exchange units running shall be undertaken at the 'assessed dwellings' identified in the Sharps Acoustics report of 28th August 2015 – an approved document of County Council planning permission MS/3892/15. In the event that predicted noise levels from the existing AD plant are breached further measures to mitigate noise from the proposed plant shall be submitted to and approved by the LPA prior to commissioning of the heat exchanger.

- Noise from the existing AD plant combined with the heat exchanger, both running at full capacity shall not exceed 35dB LAeq at each of the positions indicated on the County Council approved plan 'MS/3892/15 Barley Brigg Farm AD – Proposed Noise monitoring positions'. The plant shall be maintained and serviced to ensure that the above levels are not breached. These conditions shall remain in force during the lifetime of the permission remaining in effect.

Andy

Andy Rutson-Edwards, MCIEH AMIOA

Senior Environmental Protection Officer

Babergh and Mid Suffolk District Council - Working Together

Tel: 01449 724727

Email andy.rutson-edwards@baberghmidsuffolk.gov.uk

www.babergh.gov.uk www.midsuffolk.gov.uk

From: Andy Rutson-Edwards <Andy.Rutson-Edwards@baberghmidsuffolk.gov.uk>
Sent: 14 September 2020 09:23
To: Daniel Cameron <Daniel.Cameron@baberghmidsuffolk.gov.uk>; BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>; BMSDC Planning Mailbox <planning@baberghmidsuffolk.gov.uk>
Subject: re consult DC/20/01697

Noise/Odour/Light/Smoke

APPLICATION FOR PLANNING PERMISSION - DC/20/01697

Proposal: Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.

Location: Barley Brigg Farm, Laxfield Road, Stradbroke, Eye Suffolk IP21 5NQ

Reason(s) for re-consultation: Technical data for electric motor fans and photographs dated 28/08/2020.

Thank you for the re consultation on this application. However photographs and a technical sheet do not meet my requirement for an acoustic report to support this application.

I recommend that this application is refused as there is insufficient supporting information submitted.

Andy

Andy Rutson-Edwards, MCIEH AMIOA

Senior Environmental Protection Officer

Babergh and Mid Suffolk District Council - Working Together

Tel: 01449 724727

Email andy.rutson-edwards@baberghmidsuffolk.gov.uk

www.babergh.gov.uk www.midsuffolk.gov.uk

From: Andy Rutson-Edwards <Andy.Rutson-Edwards@baberghmidsuffolk.gov.uk>
Sent: 28 July 2020 15:27
To: Daniel Cameron <Daniel.Cameron@baberghmidsuffolk.gov.uk>; BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>; BMSDC Planning Mailbox <planning@baberghmidsuffolk.gov.uk>
Subject: DC/20/01697 further reconsultation

Environmental Health
Noise/Odour/Light/Smoke

APPLICATION FOR PLANNING PERMISSION - DC/20/01697

Proposal: Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.

Location: Barley Brigg Farm, Laxfield Road, Stradbroke, Eye Suffolk IP21 5NQ

Reason(s) for re-consultation: Drawing received 17/07/2020

Thank you for reconsulting me on this application.

I am still unable to see a satisfactory acoustic report as requested for the proposed plant, as such I again recommend that this application is refused. Reason- insufficient information to support the application.

Andy

Andy Rutson-Edwards, MCIEH AMIOA

Senior Environmental Protection Officer

Babergh and Mid Suffolk District Council - Working Together

Tel: 01449 724727

Email andy.rutson-edwards@baberghmidsuffolk.gov.uk

www.babergh.gov.uk www.midsuffolk.gov.uk

From: Andy Rutson-Edwards <Andy.Rutson-Edwards@baberghmidsuffolk.gov.uk>
Sent: 01 June 2020 14:00
To: Daniel Cameron <Daniel.Cameron@baberghmidsuffolk.gov.uk>; BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>; BMSDC Planning Mailbox <planning@baberghmidsuffolk.gov.uk>
Subject: DC/20/01697 reconsult

APPLICATION FOR PLANNING PERMISSION - DC/20/01697

Proposal: Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.

Location: Barley Brigg Farm, Laxfield Road, Stradbroke, Eye Suffolk IP21 5NQ

Reason(s) for re-consultation: Additional information

Thank you for reconsulting me on the above application.

I am still unable to see sufficient information relating to noise assessment of the proposed plant.

I would recommend that without submission of this supporting information the application is refused until such a time that an assessment has been carried out by a competent person and any noise mitigation measures as may be required are incorporated into the design.

regards

Andy

Andy Rutson-Edwards, MCIEH AMIOA

Senior Environmental Protection Officer

Babergh and Mid Suffolk District Council - Working Together

Tel: 01449 724727

Email andy.rutson-edwards@baberghmidsuffolk.gov.uk

www.babergh.gov.uk www.midsuffolk.gov.uk

From: Andy Rutson-Edwards <Andy.Rutson-Edwards@baberghmidsuffolk.gov.uk>
Sent: 18 May 2020 09:46
To: Daniel Cameron <Daniel.Cameron@baberghmidsuffolk.gov.uk>; BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>
Subject: DC/20/01697

Environmental Health -
Noise/Odour/Light/Smoke

APPLICATION FOR PLANNING PERMISSION - DC/20/01697

Proposal: Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.

Location: Barley Brigg Farm, Laxfield Road, Stradbroke, Eye Suffolk IP21 5NQ

Thank you for consulting me on this application. I note from the application there appears to be no acoustic report or detail relating to noise from the proposed plant.

The email from Parkers planning dated 30 April 2020 states ' The container has no emissions or noise above the background of the AD plant.'

I shall require the supporting documentation/ assessment for this statement to be submitted.

Andy

Andy Rutson-Edwards, MCIEH AMIOA

Senior Environmental Protection Officer

Babergh and Mid Suffolk District Council - Working Together

Tel: 01449 724727

Email andy.rutson-edwards@baberghmidsuffolk.gov.uk

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From: Peter Chisnall **Sent:** 20 May 2020 19:46
To: BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>
Subject: DC/20/01697

Dear Daniel,

APPLICATION FOR PLANNING PERMISSION - DC/20/01697

Proposal: Planning Application. Installation of underground 'Ground Source Heat Array' and siting of heat exchange container.

Location: Barley Brigg Farm, Laxfield Road, Stradbroke, Eye Suffolk IP21 5NQ

Many thanks for your request to comment on the sustainability aspects of this proposal.

I have no objection or comment to make.

Regards,

Peter

Peter Chisnall, CEnv, MIEMA, CEnvH, MCIEH
Environmental Management Officer
Babergh and Mid Suffolk District Council



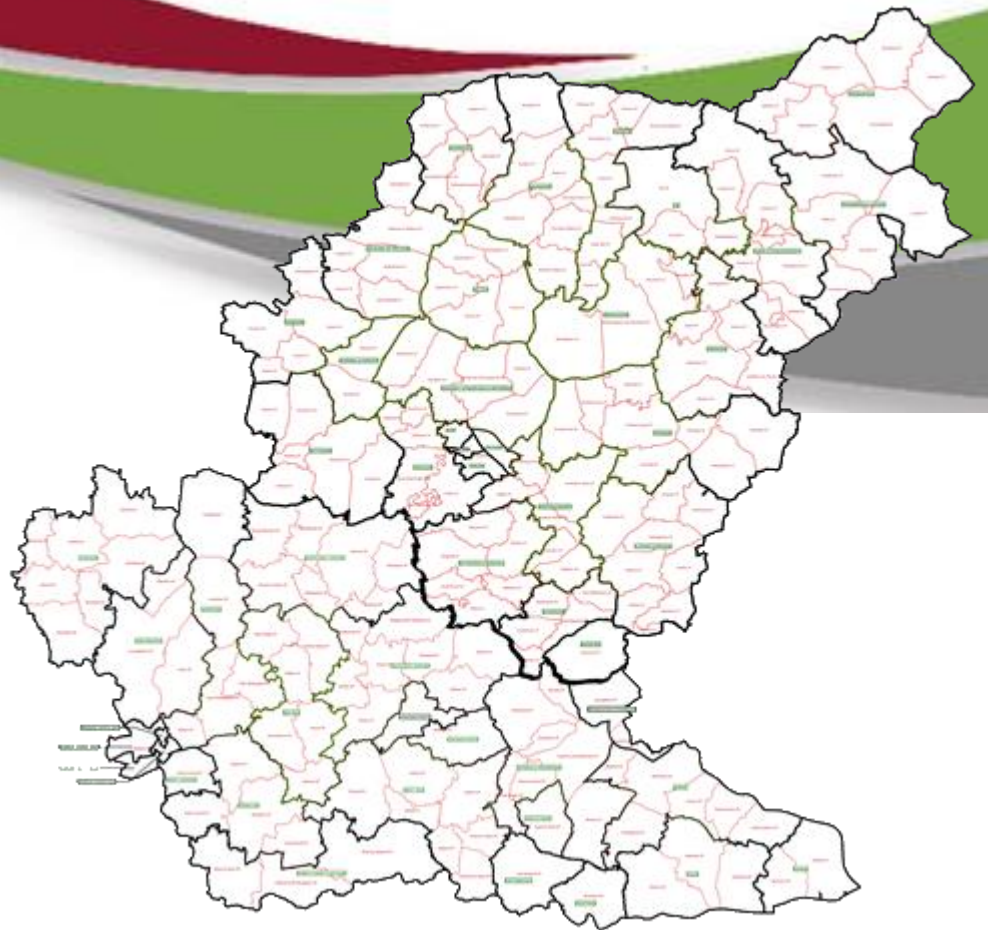
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Application No:
DC/20/01697

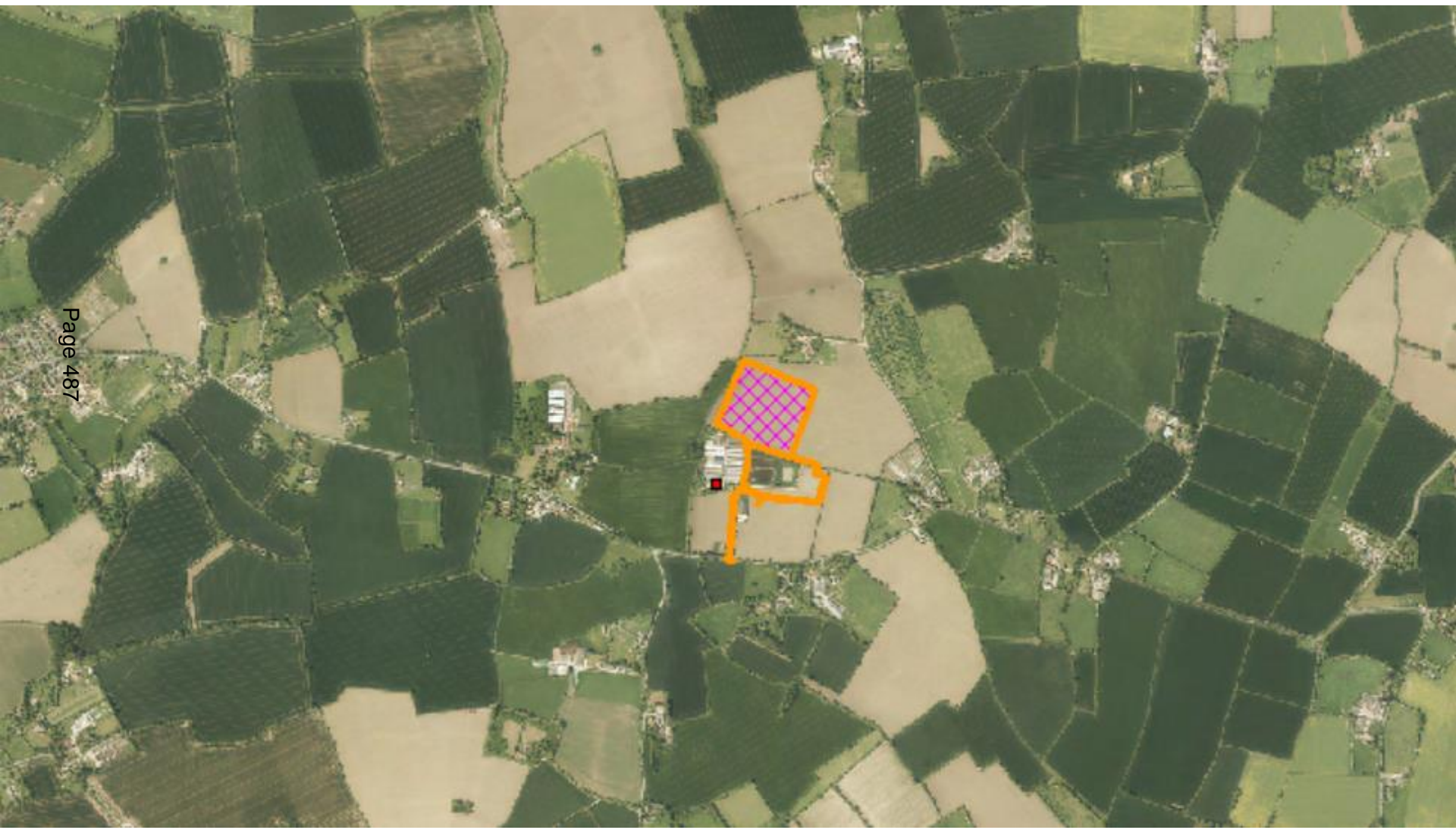
Address:
Barley Brigg Farm
Laxfield Road
Stradbroke





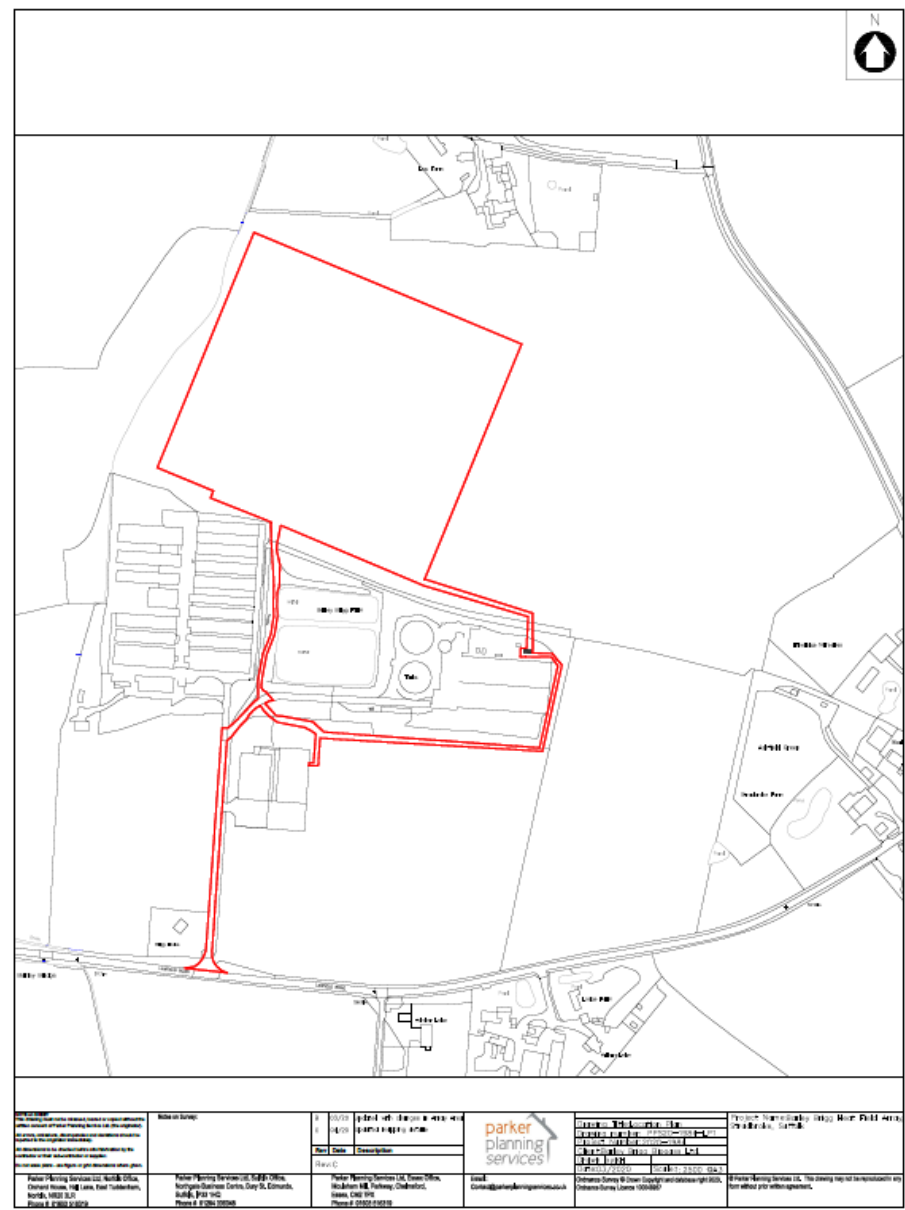
Aerial Map – wider view

Slide 3



Site Location Plan

Slide 4

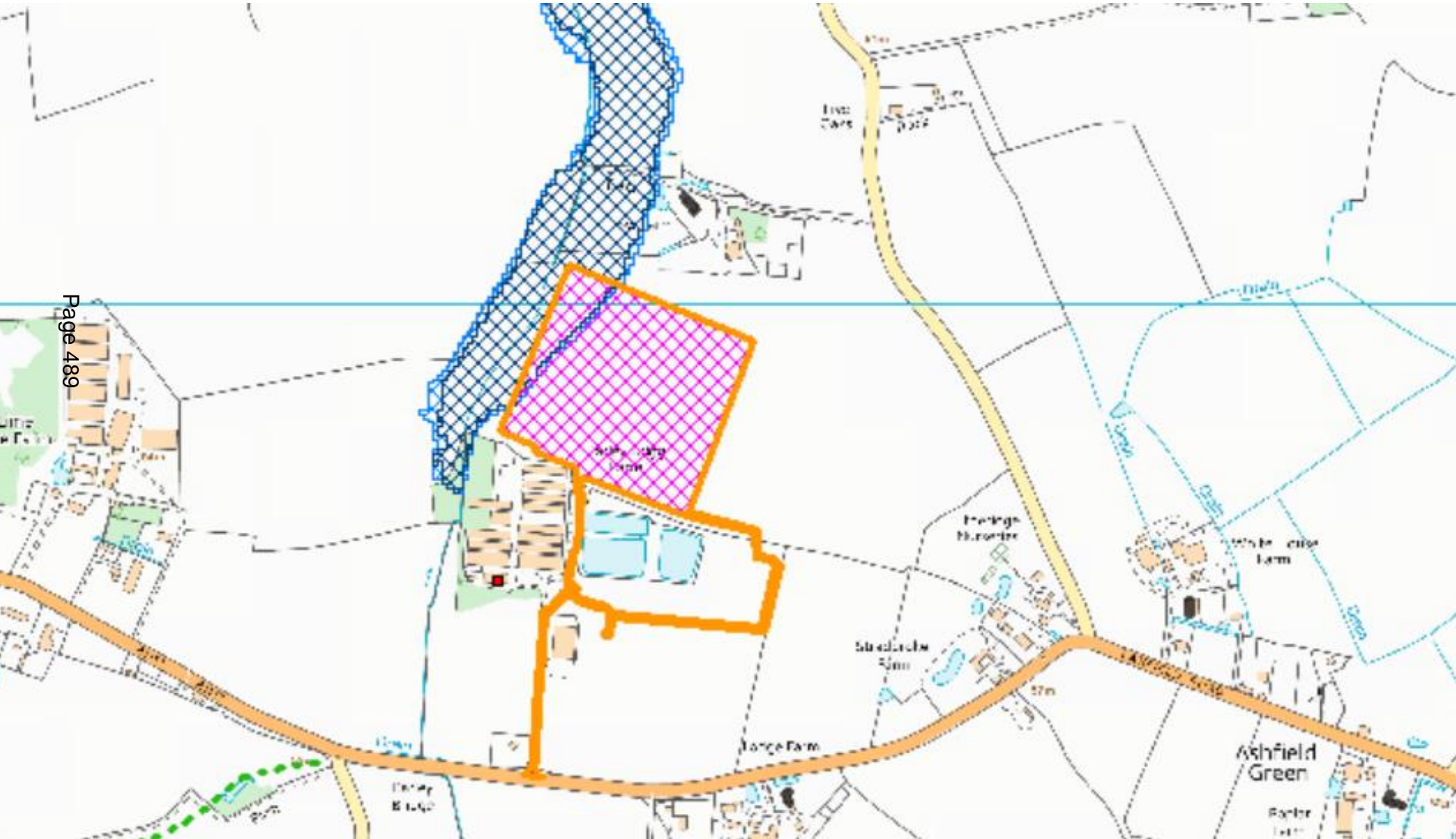


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<p>Site No: [Redacted]</p> <p>Site Area: [Redacted]</p> <p>Site Description: [Redacted]</p>		<p>Site No: [Redacted]</p> <p>Site Area: [Redacted]</p> <p>Site Description: [Redacted]</p>		<p>Site No: [Redacted]</p> <p>Site Area: [Redacted]</p> <p>Site Description: [Redacted]</p>	

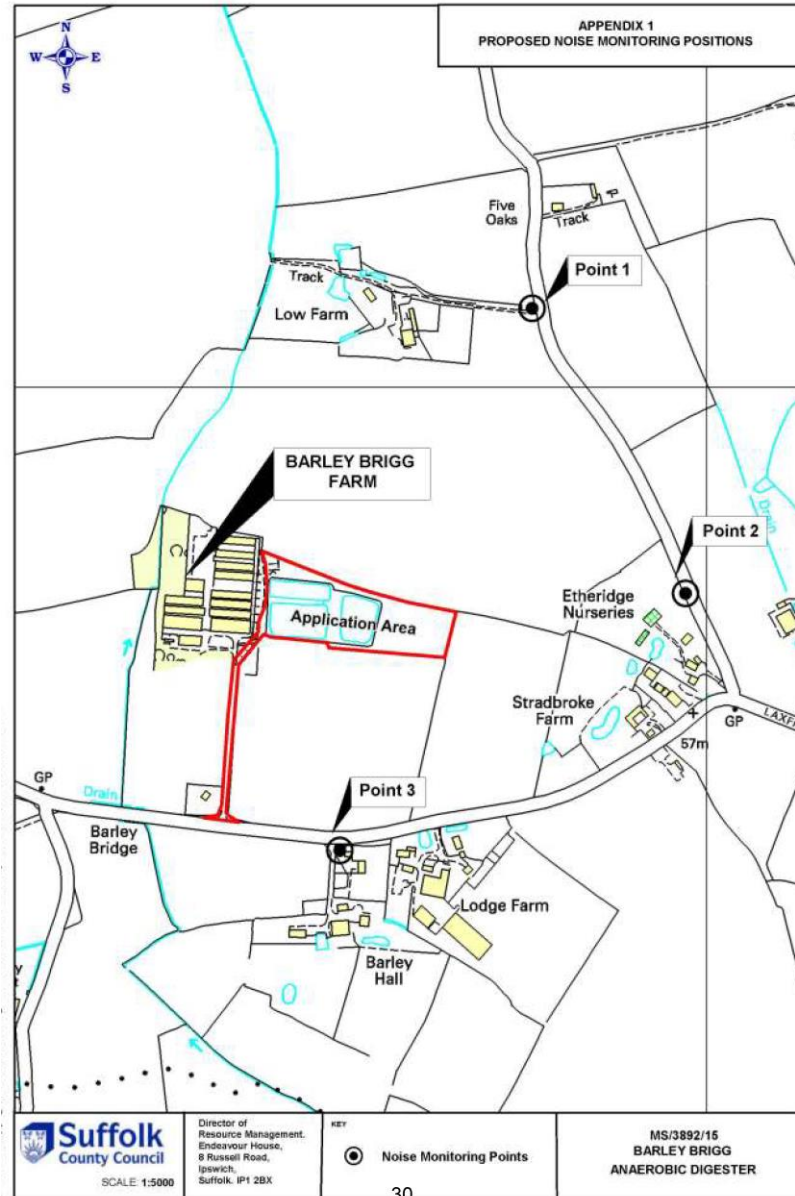
Constraints Map

- Grade II
- Flood Zone 2
- Flood Zone 3



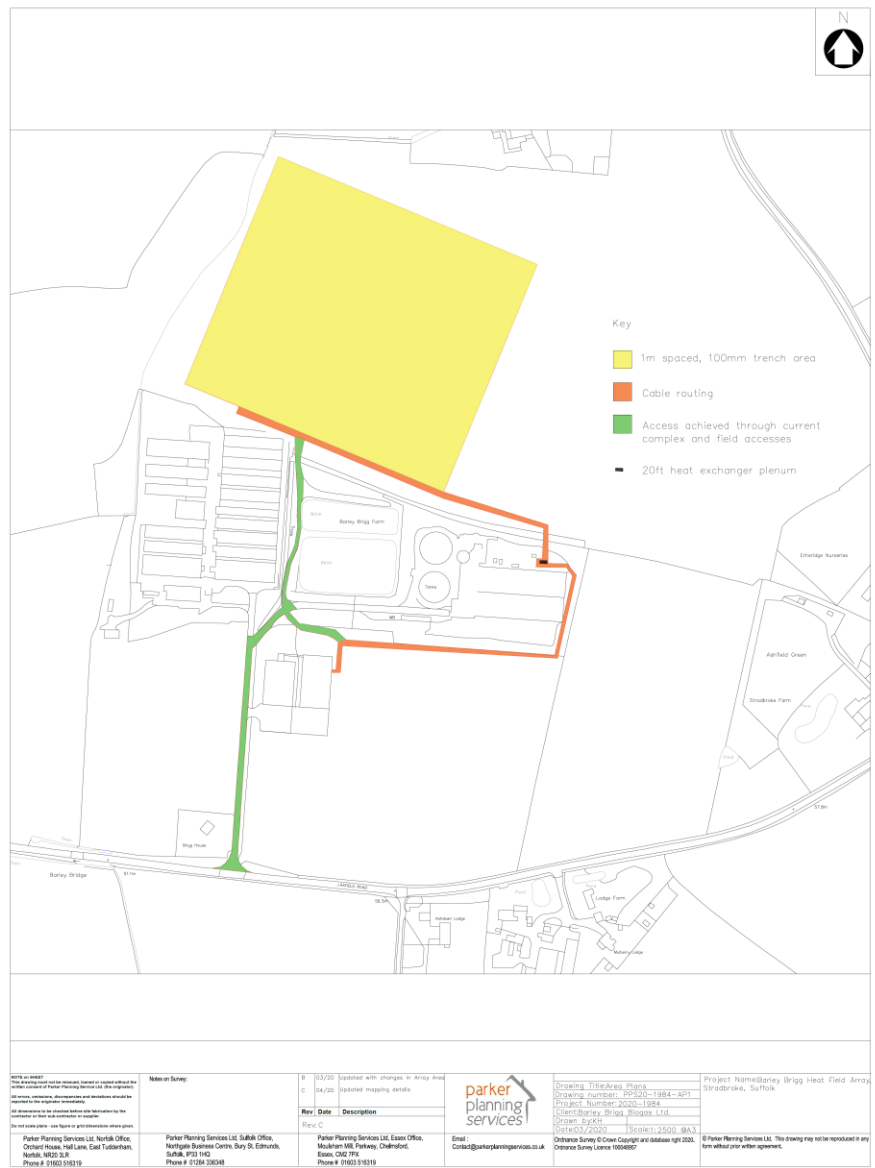
Monitoring Positions Plan

Slide 6



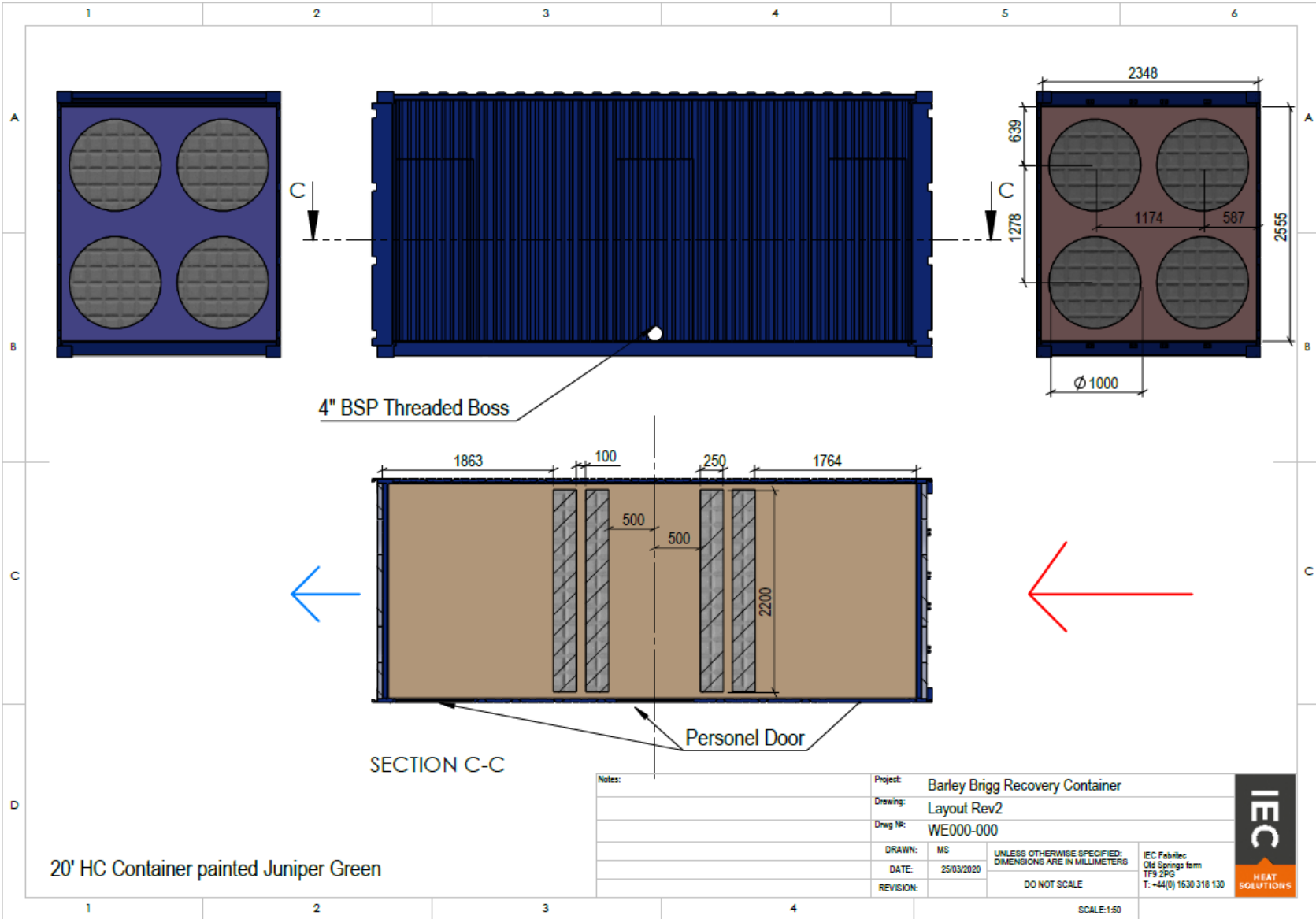
Array Areas and Services Plan

Page 491

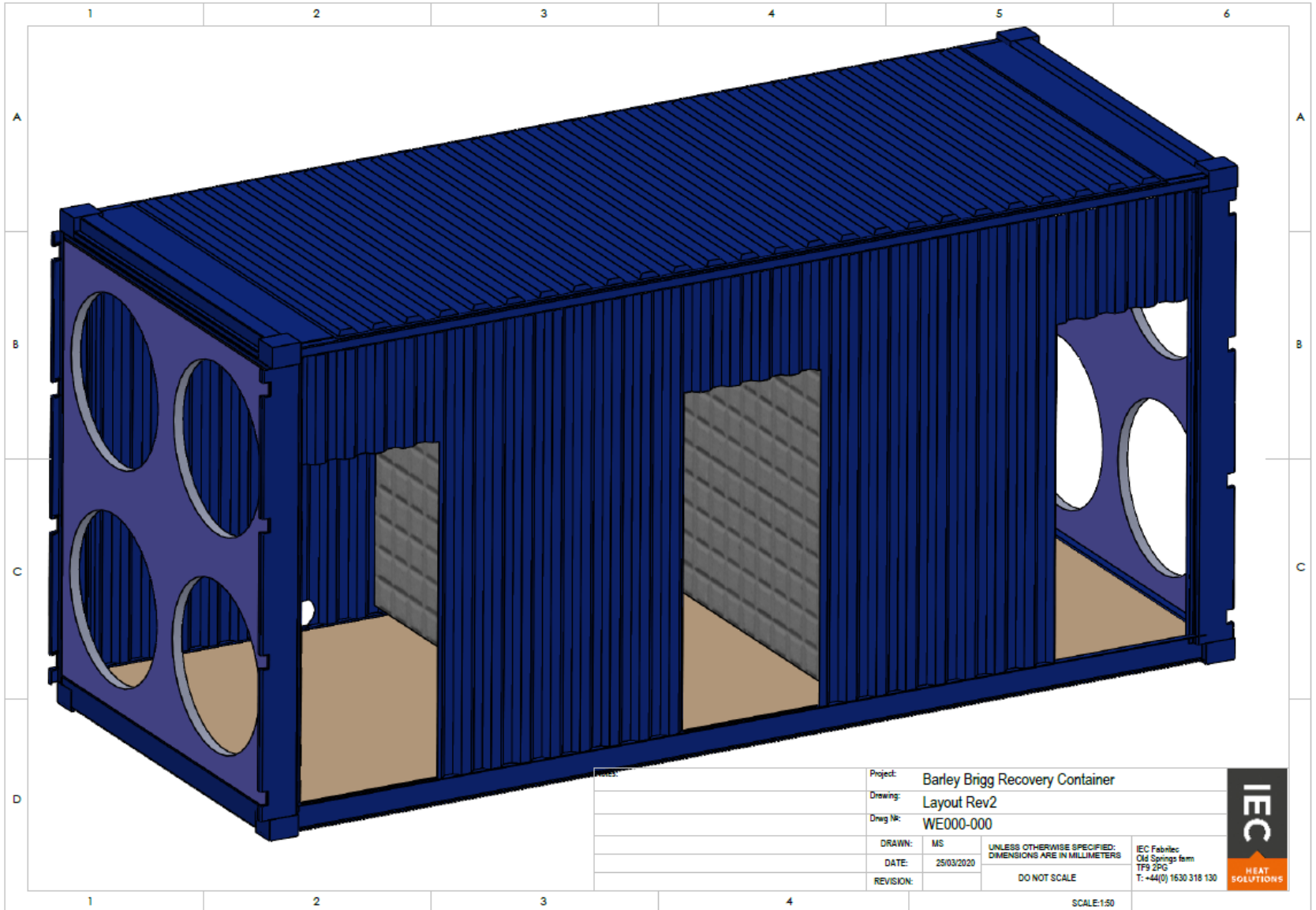


Heat Exchanger Recovery Containers

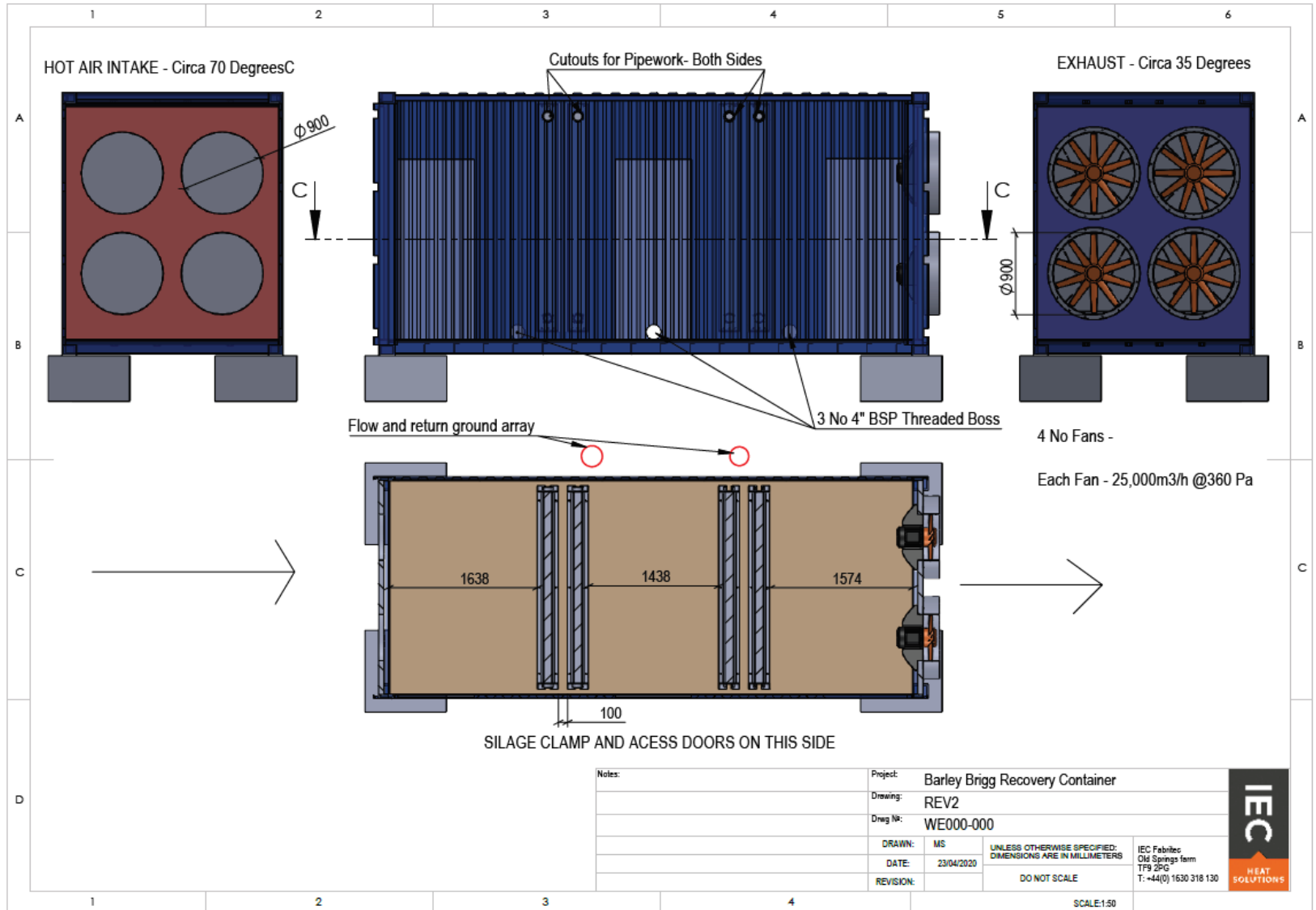
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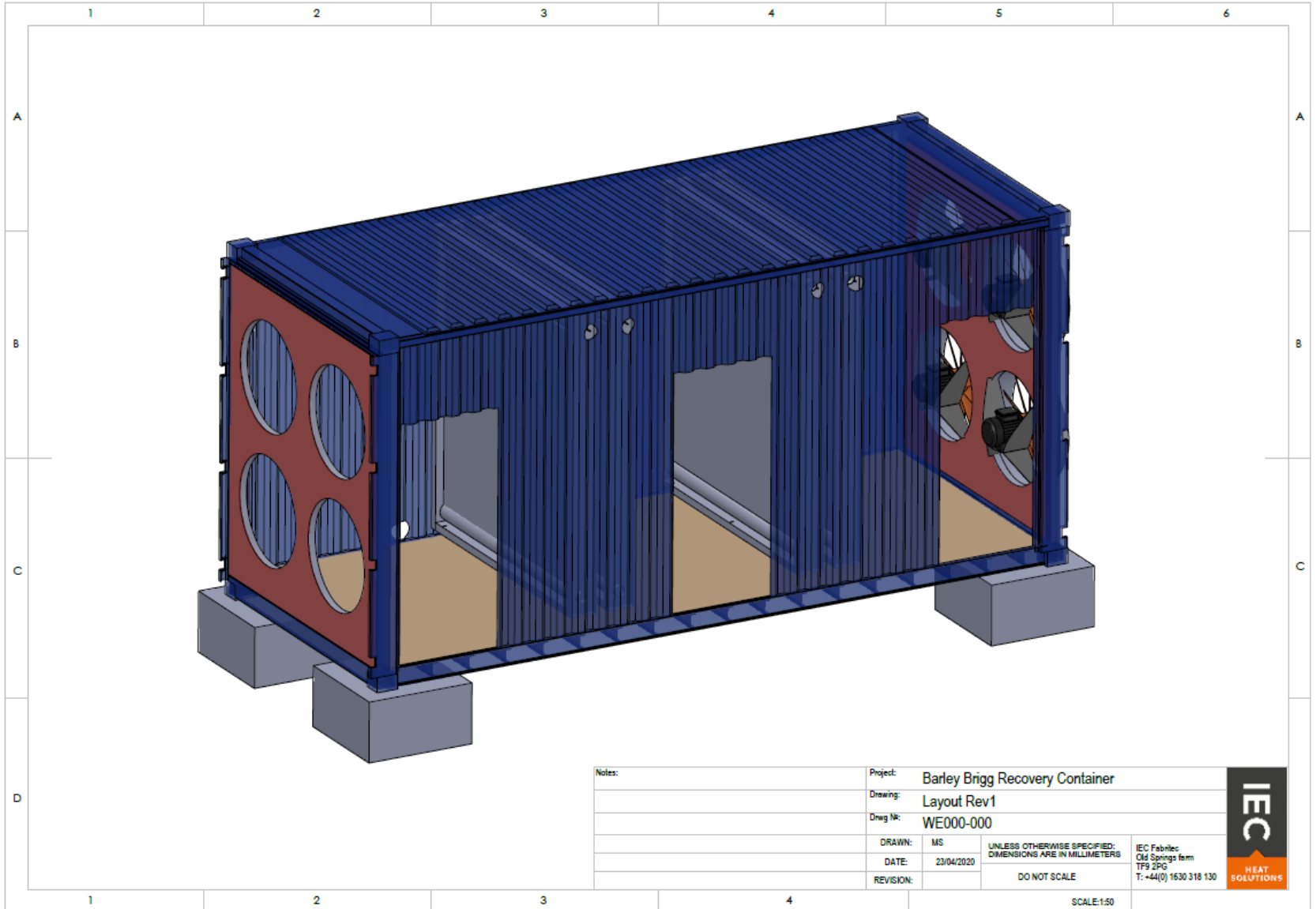
Page 495



Rattlerow Recovery Container Rev 3

Slide 12

Page 496



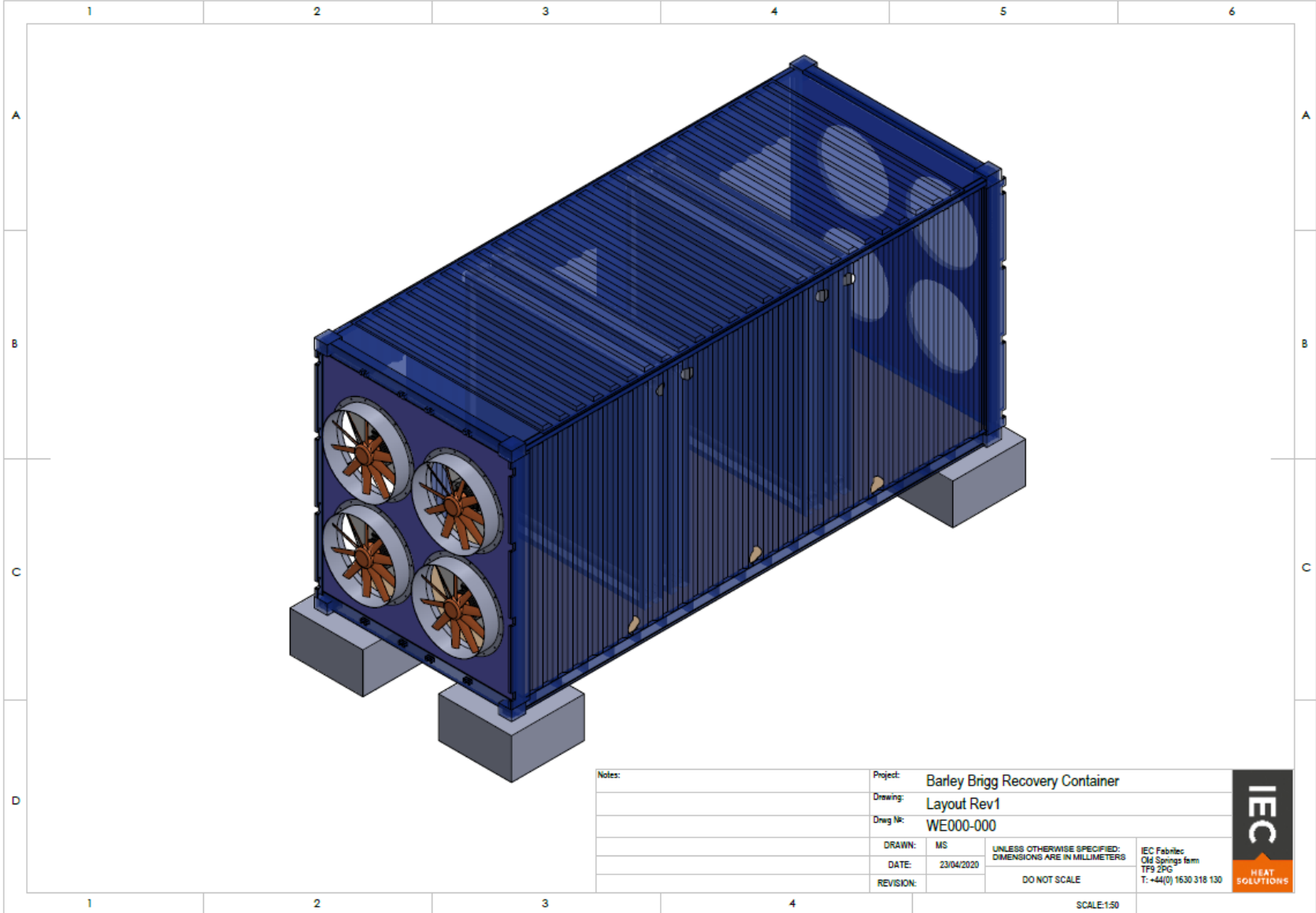
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	Drawg No: WE000-000		
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DATE:	23/04/2020	DO NOT SCALE	IEC HEAT SOLUTIONS
REVISION:			T: +44(0) 1630 318 130

SCALE:1:50

Rattlerow Recovery Container Rev 3

Slide 13

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Notes:	Project:	Barley Brigg Recovery Container	
	Drawing:	Layout Rev1	
	Dwg No:	WE000-000	
	Drawn:	MS	UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN MILLIMETERS
	Date:	23/04/2020	IEC Fabrics: Old Springs farm TF9 2PG T: +44(0) 1630 318 130
	Revision:		DO NOT SCALE
			SCALE:1:50



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